

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
FEBRUARY 25, 2025 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2025-002 (ANGELICA GUEVARA)**

Discuss and consider a request by Katie Getz on behalf of Kayla Henson of Halle Properties, LLC for the approval of an Amended Site Plan for an existing Minor Automotive Repair facility on a 1.10-acre parcel of land identified as Lot 1, Block A, Patrick Stephenson Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 693 E. IH-30, and take any action necessary.

(2) **SP2025-003 (BETHANY ROSS)**

Discuss and consider a request by Jimmy McClintock of Highway 66 Properties, LP for the approval of a Site Plan for an Office Building on a 0.28-acre parcel of land identified as Lot 5, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 407 W. Washington Street, and take any action necessary.

(3) **SP2025-004 (BETHANY ROSS)**

Discuss and consider a request by Marlin Smith of Washington Place on Highway 66, LP for the approval of a Site Plan for an Office Building on a 0.99-acre parcel of land identified as Lot 4, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary.

(4) **SP2025-005 (BETHANY ROSS)**

Discuss and consider a request by Dhruvjyoti Basu on behalf of Sameer Patel for the approval of a Site Plan for a Restaurant with 2,000 SF or More without Drive-Through or Drive-In on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

(5) **SP2025-007 (HENRY LEE)**

Discuss and consider a request by Abed Ajak of Abed Ajak/Ajak Realty, LLC for the approval of an Amended Site Plan for an existing General Retail Building on a 0.48-acre tract of land identified as Tract 34 of the J. T. Lewis Survey, Abstract 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1407 & 1409 S. Goliad Street, and take any action necessary.

(6) **SP2025-008 (RYAN MILLER)**

Discuss and consider a request by Nicholas Grinnan on behalf of Jeff Grinnan for the approval of an Amended Site Plan for an existing Office Building on a 0.9040-acre tract of land identified as Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 401 W. Rusk Street, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 21, 2025 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Angelica Guevara, *Planning Technician*
DATE: February 25, 2025
SUBJECT: SP2025-002; *Amended Site Plan for an Existing Minor Automotive Repair Facility*

The applicant, Katie Getz, is requesting the approval of an *Amended Site Plan* for an existing *Minor Automotive Repair* facility. The subject property is a 1.10-acre portion of land identified as Lot 1, Block A, Patrick Stephenson Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District. A site plan for the original building was approved with *Case No. PZ1997-092-01*. According to Rockwall Central Appraisal District (RCAD), there is a 7,606 SF service garage that was constructed in 1998 on the subject property. On February 14, 2025, the applicant submitted an application for an *Amended Site Plan* proposing changes to the existing building facade on the subject property. Due to the subject property being located within an overlay district, the building elevations must be reviewed by the Architectural Review Board. Based on the *General Overlay District Standards*, the proposed changes will require a variance to the following:

[1] *Cementitious Material*. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC, “(t)he use of cementitious materials (e.g. stucco, cementitious lap siding or similar materials approved by the Director of Planning and Zoning or his/her designee) shall be limited to 50% of the building’s exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building’s façade.” In this case, the proposed building shows stucco being used within the first four (4) feet from grade on the north and south building facades. This will require a *variance* to be granted by the Planning and Zoning Commission.

According to Subsection 09.02 of Article 11, *Variances to the General Overlay District Standards*, of the Unified Development Code (UDC), “(i)n cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception.” Based on the provided building elevations, the proposed changes to the existing automotive repair facility will require a *variance* to the cementitious materials. To address the variance, staff recommends that the applicant increase the height of the parapets by three (3) feet and finish the back of the parapets as required by the UDC. Based on this, staff feels the applicant’s variance request warrants consideration and will provide an updated, positive outlook on the overall building. With this being said, approval of variances are discretionary decisions for the Planning and Zoning Commission and do require a supermajority vote (*i.e. three-quarter majority vote*) with a minimum of four (4) affirmative votes.

Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff and the applicant will be available at the *February 25, 2025* Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: SP2025-002
PROJECT NAME: Amended Site Plan for Discount Tire
SITE ADDRESS/LOCATIONS: 693 E INTERSTATE 30

CASE CAPTION: Discuss and consider a request by Katie Getz on behalf of Kayla Henson of Halle Properties, LLC for the approval of an Amended Site Plan for an existing Minor Automotive Repair facility on a 1.10-acre parcel of land identified as Lot 1, Block A, Patrick Stephenson Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 693 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	02/21/2025	Approved w/ Comments

02/21/2025: SP2025-002: Amended Site Plan for 693 E. IH-30 (Discount Tire)

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing Minor Automotive Repair facility on a 1.10-acre parcel of land identified as Lot 1, Block A, Patrick Stephenson Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 693 E. IH-30.

I.2 For questions or comments concerning this case, please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (SP2025-002) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Building Elevations:

1) Cementitious Material. According to Subsection 06.02, General Overlay District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC, "(t)he use of cementitious materials (e.g. stucco, cementitious lap siding or similar materials approved by the Director of Planning and Zoning or his/her designee) shall be limited to 50% of the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade. In this case, the proposed building shows stucco being used within the first four (4) feet from grade on the north and south building facades. This will require a variance to be granted by the Planning and Zoning

Commission.

I.6 Staff has identified the following exceptions and variances associated with the proposed request: [1] Cementitious Materials.

I.7 Based on the variances being proposed, staff would suggest the following:

(1) Raise the parapets three (3) feet up and finish the back of the parapet.

M.8 Please provide a variance letter that details the requested exception. In addition, "(i)n cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception." Please detail the proposed compensatory measures within the exception letter. (Section 09, Article 11, UDC)

I.9 Please note the scheduled meetings for this case:

1) Planning & Zoning meeting will be held on February 25, 2025.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). A representative is required to be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Needs Review

02/20/2025: ELEVATIONS INDICATE EIFS ON ALL 4 SIDES! IS THIS PART OF THE REQUEST?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 693 EAST INTERSTATE 30 - ROCKWALL, TX 75087

SUBDIVISION PATRICK-STEPHENSON

LOT 1

BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C (Commercial District)

CURRENT USE RETAIL / MERCANTILE (DISCOUNT TIRE)

PROPOSED ZONING C (Commercial District)

PROPOSED USE RETAIL / MERCANTILE (DISCOUNT TIRE)

ACREAGE 1.100 ACRES

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HALLE PROPERTIES, LLC

APPLICANT KATIE GETZ

CONTACT PERSON KAYLA HENSON

CONTACT PERSON _____

ADDRESS 20225 NORTH SCOTTSDALE ROAD

ADDRESS 319 ELAINES COURT

CITY, STATE & ZIP SCOTTSDALE, AZ 85255

CITY, STATE & ZIP DODGEVILLE, WI 53533

PHONE 480-909-6811

PHONE 608-407-9078

E-MAIL KAYLA.HENSON@DISCOUNTTIRE.COM

E-MAIL KATIE@PERMIT.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KATIE GETZ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5TH DAY OF FEBRUARY, 2025.

OWNER'S SIGNATURE

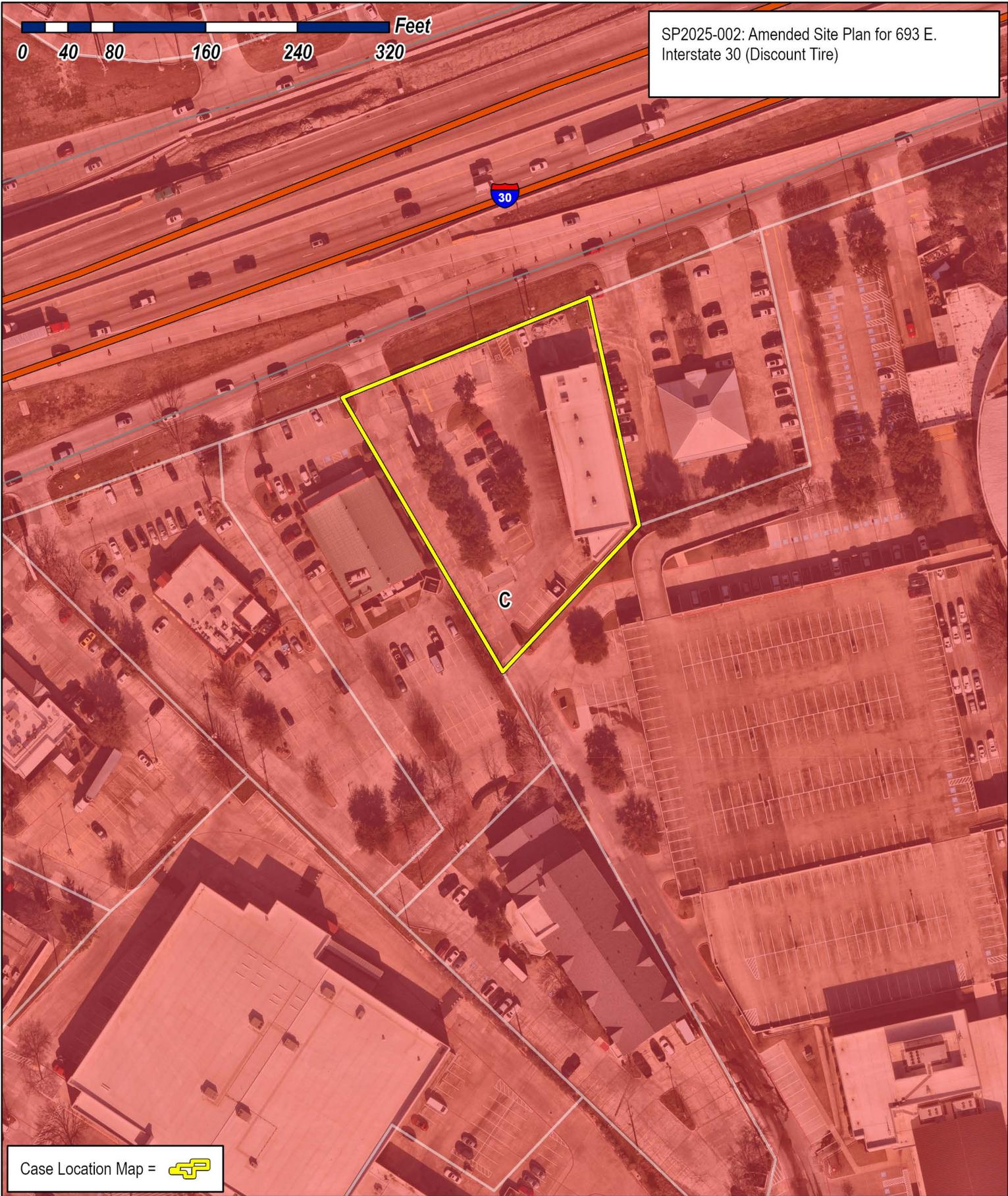
Wisconsin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS COUNTY OF IOWA





SP2025-002: Amended Site Plan for 693 E. Interstate 30 (Discount Tire)



Case Location Map = 

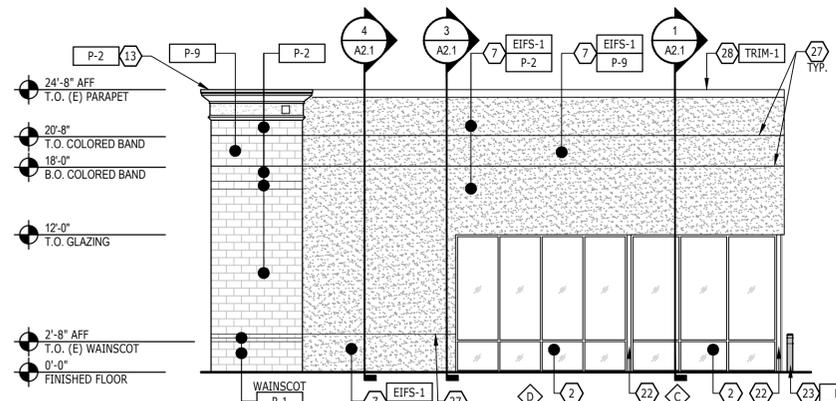


City of Rockwall

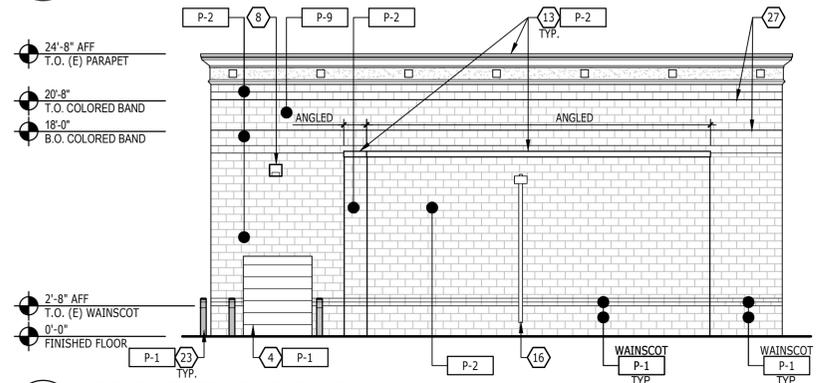
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

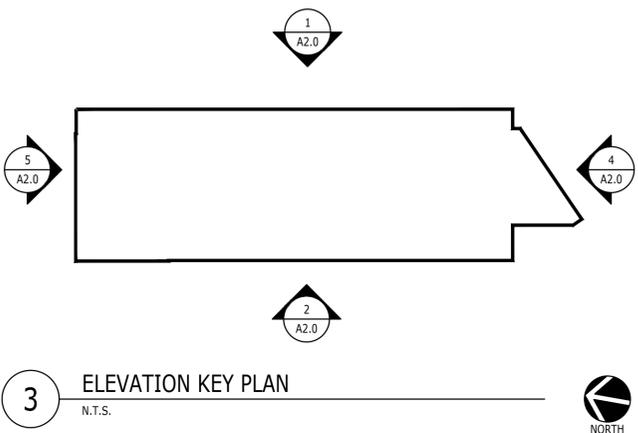




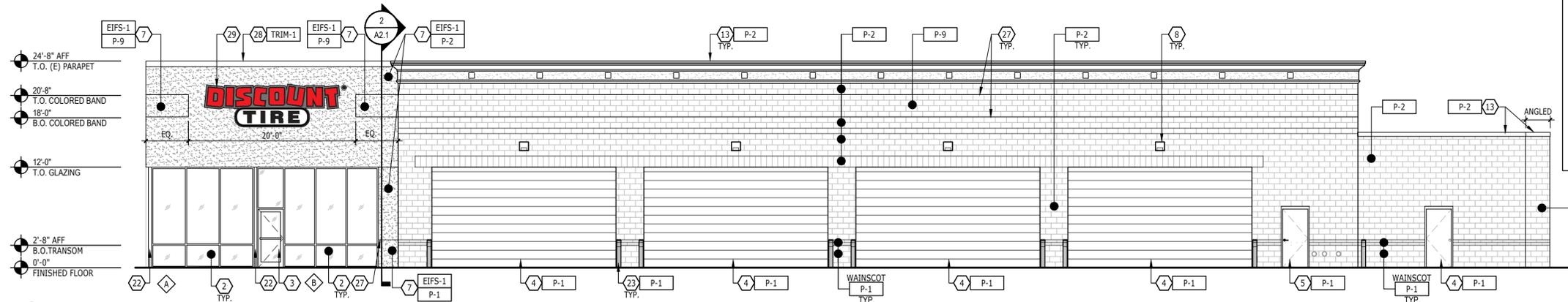
5 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



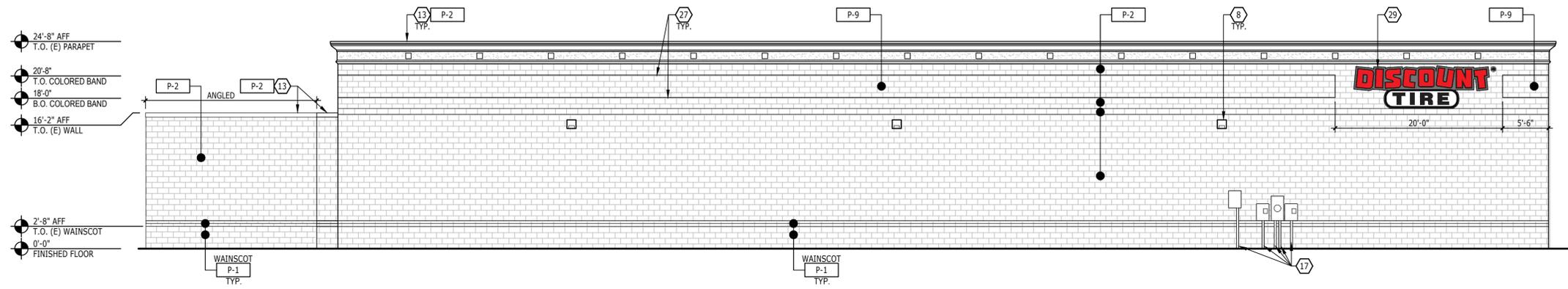
4 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



3 ELEVATION KEY PLAN
N.T.S.



2 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



1 EAST EXTERIOR ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE						
CODE	MATERIAL	MANUFACTURER	PRODUCT / COLOR	LOCATION	REMARKS	CONTACT
CLAD-1	ACM	3A COMPOSITES	ALUCOBOND PLUS, MATTE BONE WHITE	EXTERIOR - FRAME		LES TRAEGER / 740-834-2018 LES.TRAEGER@3ACOMPOSITES.COM
CLAD-1A	ACM	3A COMPOSITES	ALUCOBOND PLUS, MATTE OYSTER (ALTERNATE)	EXTERIOR - FRAME		LES TRAEGER / 740-834-2018 LES.TRAEGER@3ACOMPOSITES.COM
CLAD-2	ACM	3A COMPOSITES	ALUCOBOND PLUS, MATTE PATRIOT RED	EXTERIOR - FRAME		LES TRAEGER / 740-834-2018 LES.TRAEGER@3ACOMPOSITES.COM
CLAD-3	ACM	3A COMPOSITES	ALUCOBOND PLUS, MATTE BRUSHED STAINLESS	EXTERIOR - CANOPY		LES TRAEGER / 740-834-2018 LES.TRAEGER@3ACOMPOSITES.COM
CLAD-4	CORRUGATED METAL	ATLAS INTERNATIONAL	CORRUGATED PANEL, 0.40 ALUMINUM, BLACK (02)	EXTERIOR		EDWARD WEBB / 484-221-6377 EWEBB@ATLAS.COM
EIFS-1	EXT. INSULATION FINISHING SYSTEM	DRYVIT	OUTSULATION: FINESSE: MATCH COLOR AS SPECIFIED ON EXTERIOR ELEVATIONS	EXTERIOR	APPROVED ALT. AS REQUIRED TO MATCH ADJACENT EXIST.	BEN ROGERS / 469-667-0837 BROGERS@TREMCOINC.COM
P-1	PAINT	SHERWIN WILLIAMS	PAINT / SW 7650 ELLIE GRAY; EMERALD EXTERIOR ACRYLIC LATEX; GLOSS.	EXTERIOR	PREPARE ALL SURFACES AS REQUIRED PER PAINT SPECS.	ANGIE JULIAN / 317-714-5610
P-2	PAINT	SHERWIN WILLIAMS	PAINT / SW 7104 COTTON WHITE; EMERALD EXTERIOR ACRYLIC LATEX; GLOSS.	EXTERIOR	PREPARE ALL SURFACES AS REQUIRED PER PAINT SPECS.	ANGIE JULIAN / 317-714-5610
P-2A	PAINT	SHERWIN WILLIAMS	PAINT / SW 7668 NEUTRAL GROUND (LVR 70); EMERALD EXTERIOR ACRYLIC LATEX; GLOSS, (ALTERNATE)	EXTERIOR	PREPARE ALL SURFACES AS REQUIRED PER PAINT SPECS.	ANGIE JULIAN / 317-714-5610
P-9	PAINT	SHERWIN WILLIAMS	PAINT / SW 6258 TRICORN BLACK; EMERALD EXTERIOR ACRYLIC LATEX; GLOSS.	EXTERIOR	PREPARE ALL SURFACES AS REQUIRED PER PAINT SPECS.	ANGIE JULIAN / 317-714-5610
P-9A	PAINT	SHERWIN WILLIAMS	PAINT / SW 7069 IRON ORE; EMERALD EXTERIOR ACRYLIC LATEX; GLOSS, (ALTERNATE)	EXTERIOR	PREPARE ALL SURFACES AS REQUIRED PER PAINT SPECS.	ANGIE JULIAN / 317-714-5610
TRIM-1	METAL CAP	ATLAS INTERNATIONAL	METAL PARAPET CAP: MATCH SW 7104 COTTON WHITE, OR ALTERNATE COLOR OF MASONRY BELOW.	EXTERIOR - PARAPET CAP		EDWARD WEBB / 484-221-6377 EWEBB@ATLAS.COM
TRIM-2	CORRUGATED METAL TRIM	ATLAS INTERNATIONAL	ELITE TRIM SERIES, BLACK (02)	EXTERIOR	PRE-FINISHED METAL TRIM, PART OF CLAD 4 PANEL SYSTEM	EDWARD WEBB / 484-221-6377 EWEBB@ATLAS.COM
TRIM-3	METAL CAP	ATLAS INTERNATIONAL	METAL PARAPET CAP: BLACK (02)	EXTERIOR - PARAPET CAP		EDWARD WEBB / 484-221-6377 EWEBB@ATLAS.COM
TRIM-4	METAL TRIM	LONGBOARD PRODUCTS	8" LINK & LOCK SERIES, SLATE GREY	EXTERIOR - WALL TRIM	COLOR MAY BE MODIFIED AS NEEDED PER JURISDICTION	SHAYNE UNGER / 800-804-0343 SONGER@LONGBOARDPRODUCTS.COM

NOTE: ALL SURFACES SHALL BE PREPARED FOR NEW PAINT FINISHES AS REQUIRED PER PAINT MANUFACTURER'S RECOMMENDATIONS.

- SHEET NOTES**
- EXISTING STOREFRONT GLAZING SYSTEM. GO TO CLEAN AND/OR REPAIR AS REQUIRED TO BRING TO "LIKE NEW" CONDITION.
 - STOREFRONT GLAZING SYSTEM, REFER TO SHEET A1.0A.
 - STOREFRONT ENTRY DOOR, REFER TO SHEET A1.0 & A1.0A.
 - EXISTING EXTERIOR DOOR, PAINT DOOR AND FRAME AS INDICATED.
 - EXTERIOR DOOR, PAINT DOOR AND FRAME AS INDICATED.
 - EXISTING EIFS FINISH. PATCH/REPAIR AS REQUIRED. COLOR AS INDICATED.
 - INSTALL NEW EIFS. COLOR AS INDICATED.
 - EXISTING WALL MOUNTED LIGHT FIXTURE.
 - WALL MOUNTED LIGHT FIXTURE. REFER TO RCP AND ELECTRICAL DRAWINGS.
 - WALL MOUNTED ILLUMINATED SIGNAGE. GO TO SCHEDULE AND COORDINATE INSTALLATION. ALL SIGNAGE REQUIRED DOCUMENTATION IS TO BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION VIA DEFERRED SUBMITTAL OR SEPARATE COVER, AS REQUIRED.
 - ADDRESS LETTERS. REFER TO SIGNAGE PACKAGE. SUBMITTED VIA DEFERRED SUBMITTAL OR SEPARATE COVER. GO TO COORDINATE SCHEDULE & INSTALL.
 - EXISTING ADDRESS LETTERS.
 - EXISTING MOLDING / COPING. PAINT AS INDICATED.
 - EXISTING GAS METER.
 - GAS METER. REFER TO PLUMBING DRAWINGS.
 - EXISTING SCUPPER AND DOWNSPOUT.
 - EXISTING ELECTRIC METER / EQUIPMENT.
 - ELECTRIC METER / EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
 - ALUMINUM COMPOSITE CANOPY. REFER TO SECTIONS & DETAILS.
 - EXISTING CANOPY. PAINT / FINISH AS INDICATED.
 - EXISTING BASE BUILDING COLUMN.
 - EXISTING BASE BUILDING COLUMN. WRAPPED TO MATCH ADJACENT STOREFRONT FINISH. REFER TO DETAILS.
 - EXISTING BOLLARD. PAINT AS INDICATED.
 - EXISTING TRASH ENCLOSURE. PAINT AS INDICATED.
 - EXPOSED BASE BUILDING STEEL LINTEL. PAINT AS INDICATED.
 - EXPOSED BASE BUILDING STEEL LINTEL W/ BREAK METAL COVERING. REFER TO SECTIONS AND DETAILS.
 - PAINT LINE.
 - METAL TRIM.
 - RELOCATED EXISTING WALL MOUNTED ILLUMINATED SIGNAGE.

Design Forum Architects Inc.
2056 BYERS RD
Mansfield, OH 45342
Tel. (844) 804-7700

Donald J. Rothman
Architect In Charge
License: 17287

DISCOUNT TIRE

TXD 39
693 E INTERSTATE 30
ROCKWALL, TX 75087

10/22/2024

© 2024 CHANGEUP INC.

No.	Description	Date

PROJECT NUMBER	DT10773
DATE	10/08/2024
DRAWN BY	LI / RS
CHECKED BY	JDW / DJR

SHEET NAME
EXTERIOR ELEVATIONS

SHEET #
A2.0



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: February 25, 2025
SUBJECT: SP2025-003; *Site Plan for 407 W. Washington Street*

The applicant, Jimmy McClintock of Highway 66 Properties, LP, is requesting the approval of a Site Plan for a two (2) story, 4,008 SF *office building*. The subject property was annexed prior to 1959, is zoned Downtown (DT) District, and is situated within the SH-66 Overlay (SH-66OV) District. On July 6, 2020, the City Council approved a replat [*Case No. P2020-025*] of Lots 4 & 5, Block A, Washington Place Addition. On August 11, 2020, the Planning and Zoning Commission approved a Site Plan [*Case No. SP2020-017*] for a two (2) story, 4,008 SF *office building* on the subject property. The site plan approval was set to expire on August 11, 2022 in accordance with Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [*Case No. E2020-132*]. The Engineering Plans were approved on January 6, 2021, and were considered to be valid for a period of one (1) year. On May 25, 2021, the applicant submitted a Building Permit [*Case No. COM2021-2619*]; however, this permit expired due to inactivity on November 25, 2021. Since the Building Permit was expired, both the Site Plan and Engineering Plans also expired.

In response to this expiration, the applicant resubmitted the same Site Plan on February 14, 2025. The submitted Site Plan was the same as the original Site Plan approved under *Case No. SP2020-017*, with the exception of minor changes being made to the Photometric Plan. As part of the review for this case, staff has indicated to the applicant that the Photometric Plan will need to be changed to meet the lighting and photometric standards of the Unified Development Code (UDC), and this is considered to be a condition of approval for this case. Staff has attached the original Site Plan case memo since nothing has changed in the requirements of the Downtown (DT) District that would affect the approval of this case. As part of this case, the Planning and Zoning Commission will be tasked with reviewing the previous Site Plan approval -- *including the variances/exceptions that were granted* -- and determining if the proposal meets the criteria for Site Plan approval as outlined in Subsection 03.04, *Site Plan Review*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, staff will be taking the proposed building elevations back to the Architectural Review Board (ARB) prior to the meeting on February 25, 2025, and will provide an updated recommendation from the ARB to the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the February 25, 2025 Planning and Zoning Commission meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 11, 2020
APPLICANT: Jimmy McClintock; *Hwy 66 Properties, LP*
CASE NUMBER: SP2020-017; *Site Plan for an Office Building at 407 W. Washington Street*

SUMMARY

Discuss and consider a request by Jimmy McClintock of HWY 66 Properties, LP for the approval of a Site Plan for an *office building* on a 0.28-acre parcel of land identified as Lot 2-R, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 407 W. Washington Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1959, is zoned Downtown (DT) District, is situated within the SH-66 Overlay (SH-66 OV) District, and is considered to be a part of one of the original areas of the City of Rockwall. As a note, on January 14, 2020, the Planning and Zoning Commission approved a site plan [*i.e. SP2019-044*] for the adjacent property at 409 W. Washington Street for the applicant that proposed a ~16,502 SF office building. The applicants' intent is to provide a building that will stylistically compliment this adjacent office building when constructed.

PURPOSE

The applicant has submitted a request for approval of a site plan for an office building on the subject property. The proposed two (2) story office building will be a ~4,440 SF and will be clad with brick and cast stone accents, and will utilize a flat roof system, which is typical of the existing buildings within the Downtown (DT) District.

ADJACENT LAND USES AND ACCESS

The subject property is located at 407 W. Washington Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is W. Washington Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Following this, there is a vacant tract of land and W. Rusk Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Beyond this, there are several single-family homes. These areas are zoned Downtown (DT) and Single-Family 7 (SF-7) District.

South: Directly south of the subject property, there is a cemetery that is owned by the City of Rockwall. Following this, there are two (2) single-family residential subdivisions (*i.e. Stonebridge Meadows, Phases 4, 3, & 2; and Ridgeview Subdivisions*) and a condominium complex (*i.e. Bent Tree Condominiums*). These areas are zoned Cemetery (CEM), Single-Family 7 (SF-7) and Multi-Family 14 (MF-14) Districts.

East: Directly east of the subject property, there is a vacant tract of land, a real estate office (*i.e. Gold Key Realty*), and a daycare facility (*i.e. Marigold Learning Academy*). Following this, there several vacant tracts of land, a city-owned parking lot, and N. Goliad Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan.

West: Directly west of the subject property, is 409 W Washington Street, which is has an approved site plan for an office building followed by a single-family home and a City-owned cemetery. Following this, there is a daycare facility

(i.e. *Children's Park Day Care*), a vacant tract of land, an office building, and a veterinary hospital (i.e. *Avery Veterinary Clinic*). Beyond this, there is a retail store with gasoline sales (i.e. *Shell*), a single-family residential subdivision (i.e. *Stonebridge Meadows, Phases 4 & 5*) and S. Lakeshore Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are zoned Downtown (DT), Cemetery (CEM), General Retail (GR), Single-Family 7 (SF-7), and Single-Family 10 (SF-10) Districts.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) the proposed office building is permitted by-right in the Downtown (DT) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within the Downtown (DT) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Building Height</i>	<i>Min. 2 Stories; Max. 4 Stories</i>	<i>x=2 Stories; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>24-Feet</i>	<i>x=24-Feet; In Conformance</i>
<i>Pedestrian Walkway Width</i>	<i>10-Feet</i>	<i>x=10-Feet; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>100% Brick</i>	<i>x=100%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>14 Spaces</i>	<i>x=14 Spaces; In Conformance</i>
<i>Bicycle Parking Spaces</i>	<i>2 Spaces</i>	<i>x=2 Spaces; In Conformance</i>

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 67-caliper inches to be removed from the site and the provision of one (1), six (6) inch caliper tree that counts towards the mitigation total with the proposed development. This will leave a mitigation balance due of 61-caliper inches. According to Section 05(F), of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), the applicant may satisfy the tree mitigation balance by: [1] paying into the tree fund, [2] planting trees on site, and/or [3] providing the trees to the Parks and Recreation Department. In this case, the applicant has indicated their intention is to provide 20% of the mitigation balance to the City's Tree Fund totaling \$1,340.00 (i.e. 67" x 20% = 13.4" x \$100 = \$1,340.00) and providing the remaining balance of 48-inches to satisfy the mitigation balance. This has been added as a condition of approval.

CONFORMANCE WITH THE CITY'S CODES

The proposed office building conforms to the requirements stipulated in Subsection 04.07, *Downtown (DT) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) as follows:

- (1) Function/Land Use. Retail, personal service, residential, and office uses shall be allowed throughout the district. In this case, the proposed use is an office building and conforms to this requirement.
- (2) Block Face. Building walls should be continuous along block faces to create a strong edge to the street and contribute to creating an attractive and active pedestrian environment. In this case, the building utilizes a design that will be complementary to the adjacent property which will have an appearance of two (2) buildings with a continuous block face. The proposed office building will also utilize contrasting brick patterns/colors that blend with the surrounding downtown theme.
- (3) Building Form. Buildings shall be designed and constructed in a tri-partite architecture so that they have a distinct base, middle, and top. The proposed building elevations appear to conform to this requirement.
- (4) External Facade Materials. Ground floor exterior walls, excluding windows and doors, shall be constructed of 100% brick. The applicant is proposing to utilize 100% brick.
- (5) Color. The dominant color of all buildings shall be muted shades of warm grey, red, green, beige, or brown. Black, gold, and stark white shall not be used except as an accent color. The submitted building elevations indicate that the brick will be brown and conform to the district standards.
- (6) Non-Residential at Grade. The ground floor entry must be located at the approximate elevation of the adjacent sidewalk. All of the proposed entryways conform to this requirement.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, indicates that the subject property is located within the Downtown District and is designated for Downtown (DT) land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. It is expected that the Downtown District will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City to ensure that the district retains its small-town character. The Downtown (DT) land use designation should include a combination of land uses that are complementary to the existing development pattern and are intended to add the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. Primary land uses include office, retail restaurant, and residential land uses while secondary land uses include institutional and civic land uses. In this case, the proposed office building is considered to be a primary use within the Downtown District and appears to be in conformance with the policies and goals contained in the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On July 28, 2020, the Architectural Review Board (ARB) reviewed the proposed building elevations and recommended that the applicant not incorporate a stone wainscot, rather use the white washed brick to meet the Downtown (DT) District's requirement of 100% brick. Additionally, the ARB recommended the columns on the front elevation be square and constructed with the white washed brick. They also recommended that the square ornamental emblems be changed to round emblems to provide more interest. The ARB will review the revisions at the August 11, 2020 meeting and forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve of the applicant's request for a site plan for an office building, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit; and,
- (2) The applicant will be required to satisfy the outstanding balance of 48-inches of tree mitigation prior to the issuance of a building permit; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: SP2025-003
PROJECT NAME: Amended Site Plan for 407 W. Washington Street
SITE ADDRESS/LOCATIONS: 407 W WASHINGTON ST

CASE CAPTION: Discuss and consider a request by Jimmy McClintock of Highway 66 Properties, LP for the approval of a Site Plan for an Office Building on a 0.28-acre parcel of land identified as Lot 5, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 407 W. Washington Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/19/2025	Approved w/ Comments

02/19/2025: SP2025-003; Site Plan for 407 W. Washington Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jimmy McClintock of Highway 66 Properties, LP for the approval of a Site Plan for an Office Building on a 0.28-acre parcel of land identified as Lot 5, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and addressed as 407 W. Washington Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-003) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 On August 11, 2020, the Planning and Zoning Commission approved a Site Plan [Case No. SP2020-017] for a two (2) story, 4,008 SF office building on the subject property. The site plan approval was set to expire on August 11, 2022 in accordance with Subsection 03.05(A), Site Plan Expiration, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2020-132]. The Engineering Plans were approved on January 6, 2021, and were considered to be valid for a period of one (1) year. On May 25, 2021, the applicant submitted a Building Permit [Case No. COM2021-2619]; however, this permit expired due to inactivity on November 25, 2021. Since the Building Permit was expired, both the Site Plan and Engineering Plans also expired.

M.5 Photometric Plan. Please provide a photometric plan that meets the requirements of the UDC. The allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) footcandle or 0.2 FC.

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on March 4, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Please note the scheduled meetings for this case:

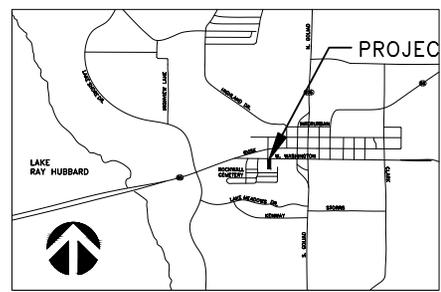
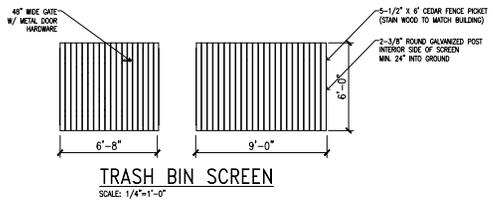
(1) Planning & Zoning Work Session meeting will be held on February 25, 2025.

I.8 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved w/ Comments
02/21/2025: 1. Engineering plans will have to be reviewed. 2. SH66			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved w/ Comments

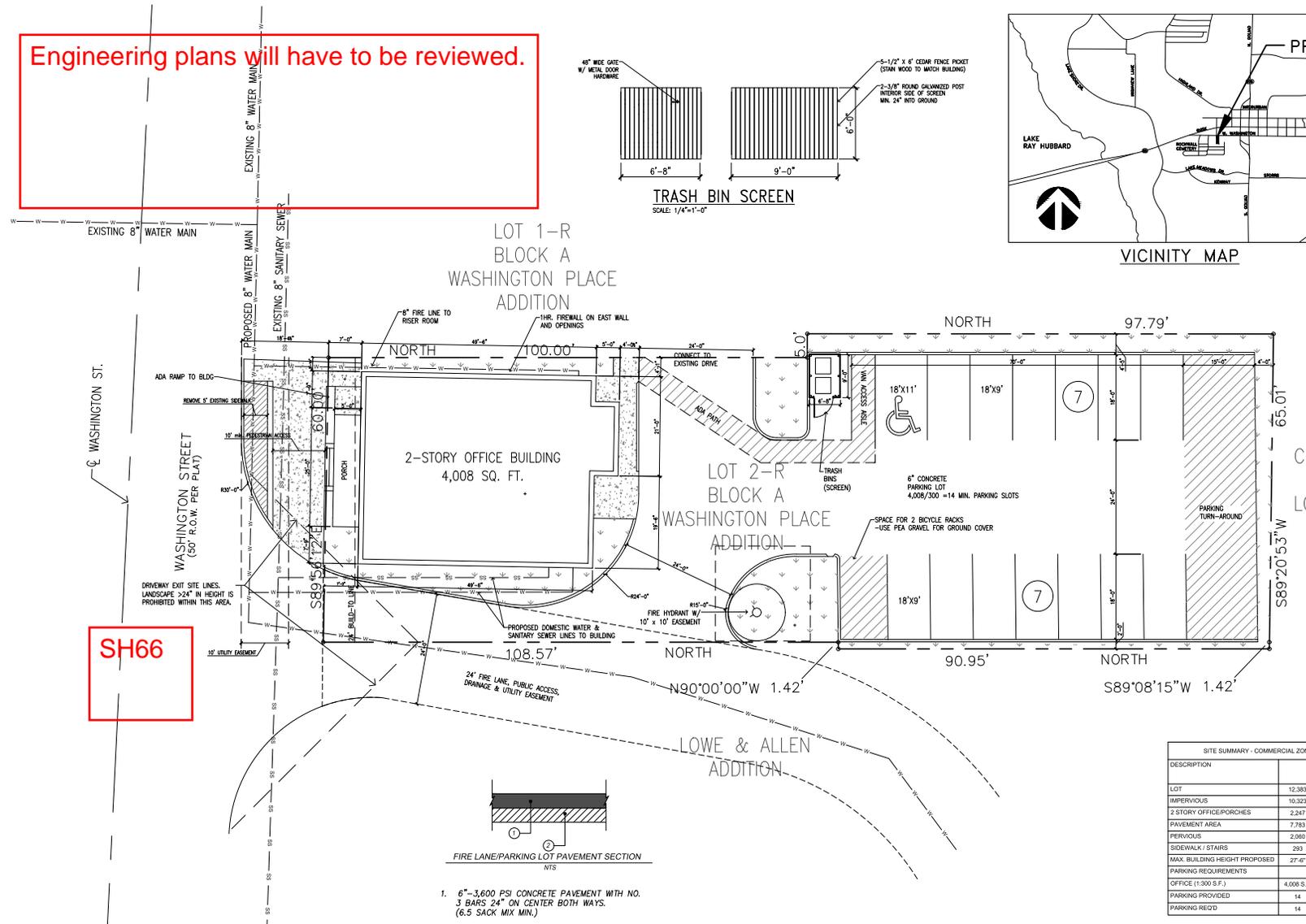
02/18/2025: There are better varieties of turfgrass available now such as Tif Tuf, Lattitude 36 or Tahoma 31 that are more shade, drought, wear and cold tolerant

Engineering plans will have to be reviewed.



PROJECT LOCATION

VICINITY MAP



SH66

CITY CEMETARY
LOWE & ALLEN
BLOCK 6
EXEMPT

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION	LOT	PERCENTA GE
LOT	12,363	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,793	64%
PERVIOUS	2,060	16%
SIDEWALK/ STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

FIRE LANE/PARKING LOT PAVEMENT SECTION

- 8"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 8" COMPACTED LIME STABILIZED SUBGRADE SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____.
WITNESS OUR HANDS, THIS ___ DAY OF _____.
PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use



SITE PLAN
SCALE: 1"=10'
0 10 20

OWNER/DEVELOPER:
LMGC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISIONS
06/28/2021 <td>1 RESPONSE TO CITY COMMENTS </td>	1 RESPONSE TO CITY COMMENTS

PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	1" = 10'
SHEET No.	of

DRAWING NAME:
SITE PLAN

S1.0

SP2020-017



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

407 W. WASHINGTON ST Rockwall TX 75082

SUBDIVISION

Lowe & Allen Addition

LOT

212

BLOCK

A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

R-1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Huybb Properties LP

APPLICANT

CONTACT PERSON

Jimmy McClintonck

CONTACT PERSON

ADDRESS

3021 Ridge Rd Aubrey

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75082

CITY, STATE & ZIP

PHONE

972-443-7222

PHONE

E-MAIL

luc@we@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jimmy McClintonck [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 600.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF February, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

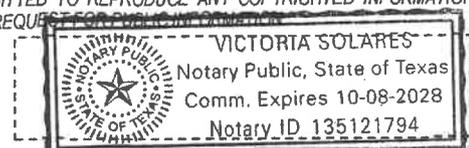
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF February, 2025.

OWNER'S SIGNATURE

Jimmy McClintonck

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Victoria Solares



MY COMMISSION EXPIRES

SF-7
0 25 50 100 150 200 Feet

SP2025-003: Amended Site Plan for 407 W. Washington Street

S SECOND ST

66

DT

S FIRST ST

CEM

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REV.	DATE	DESCRIPTION
1		RESPONSE TO CITY COMMENTS

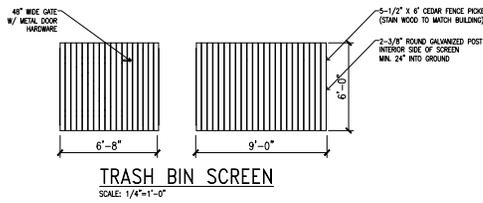
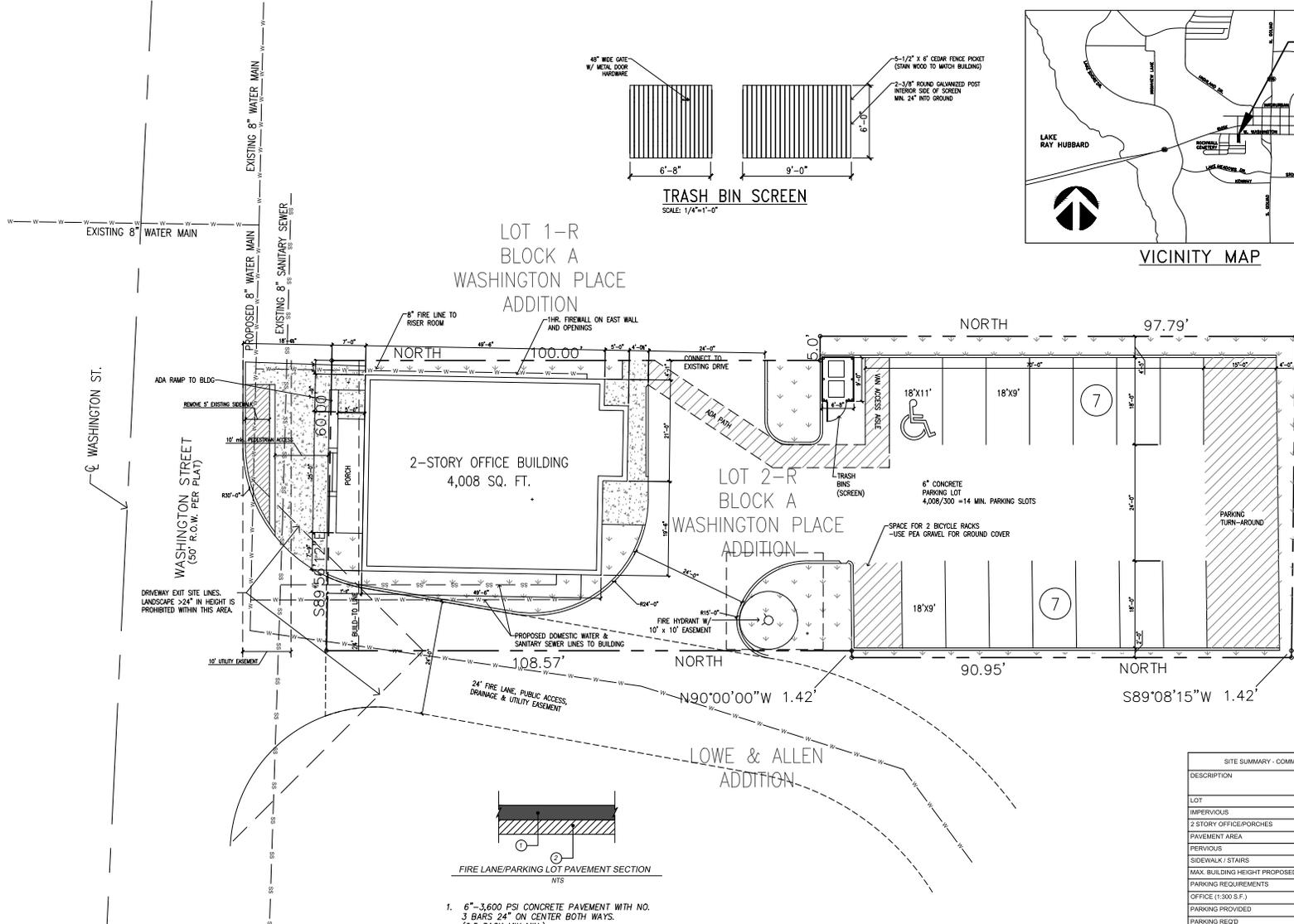
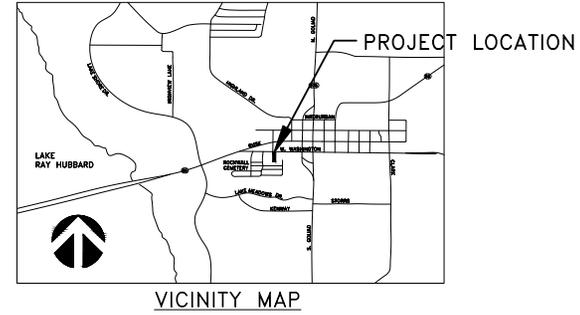
PROJECT NAME AND ADDRESS
LMCC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	1" = 10'
SHEET No.	of

DRAWING NAME:
SITE PLAN

S1.0

SP2020-017



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- FIRE LANE/PARKING LOT PAVEMENT SECTION**
NTS
- 8" - 3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
 - 8" COMPACTED LIME STABILIZED SUBGRADE SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____.
WITNESS OUR HANDS, THIS ___ DAY OF _____.
PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

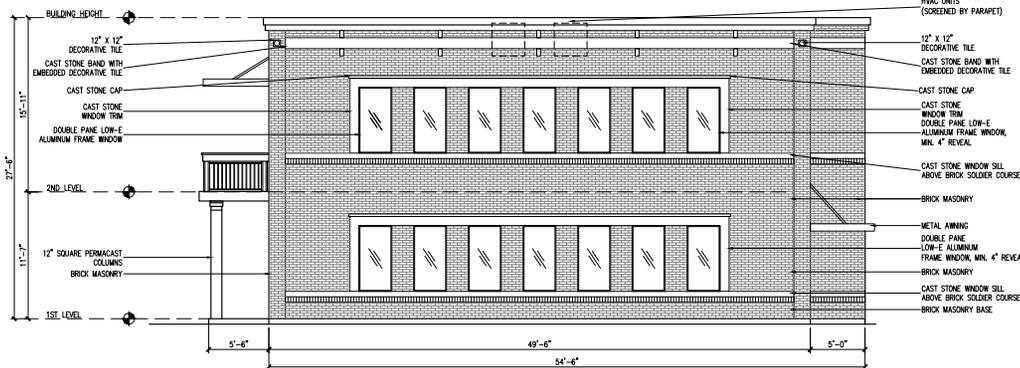
BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use

OWNER/DEVELOPER:
LMCC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

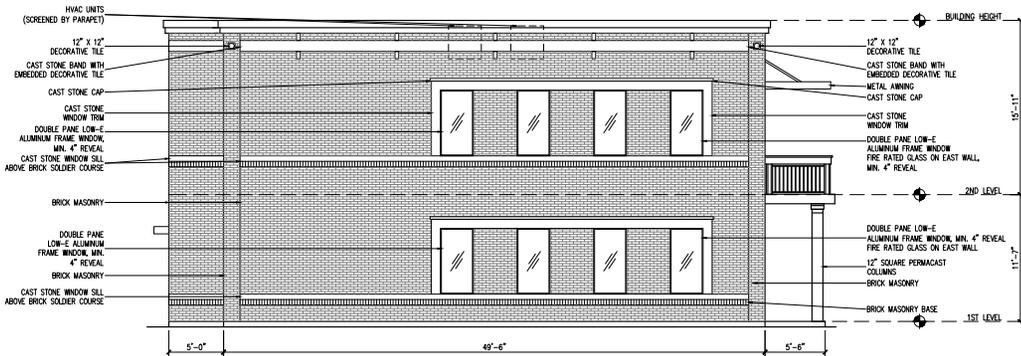


SITE PLAN
SCALE: 1"=10'
0' 10' 20'



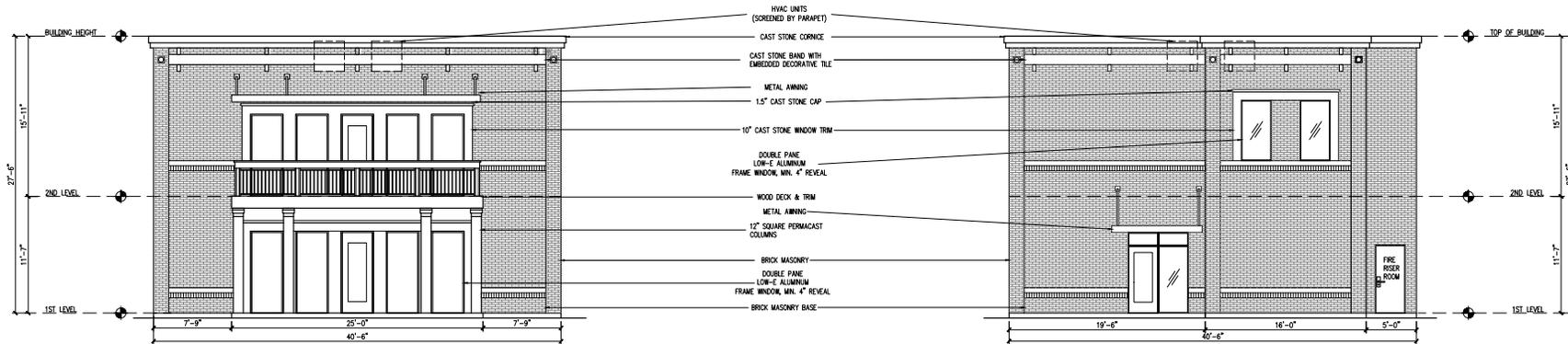
WEST ELEVATION

SCALE: 3/16" = 1'



EAST ELEVATION

SCALE: 3/16" = 1'



NORTH ELEVATION (FACING W. WASHINGTON)

SCALE: 3/16" = 1'

SOUTH ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		144	
ACCOUNTABLE AREA		1,442	100%
MASONRY - BRICK		1,248	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - NORTH (FACING WASHINGTON)			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		294	
ACCOUNTABLE AREA		863	100%
MASONRY - BRICK		621	72%
CAST STONE		242	28%

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		219	
ACCOUNTABLE AREA		908	100%
MASONRY - BRICK		790	86%
CAST STONE		128	14%

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____

WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISION
06/28/2021	1 RESPONSE TO CITY COMMENTS

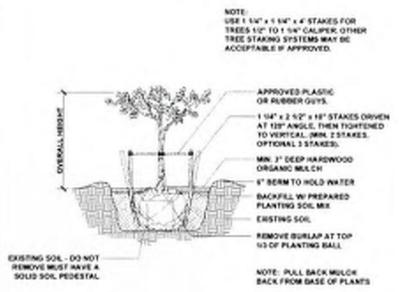
PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
407 W WASHINGTON
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/28/2021
SCALE	
SHEET NO.	of
DRAWING NAME:	

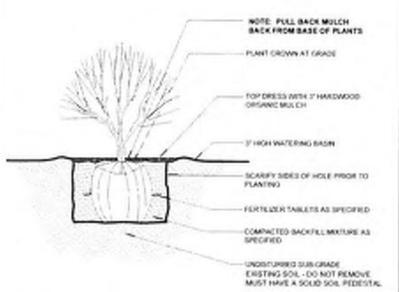
ELEVATIONS

A2.0

SP2020-017



C TREE PLANTING DETAIL



D SHRUB PLANTING DETAIL

EXCERPTS FROM ROCKWALL LANDSCAPE STANDARDS:
 Sec. 5.7 - Street Landscaping
 A street landscape buffer strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan, exclusive of driveways and access ways. Large trees, as herein defined, shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage.
 Sec. 5.8 - Right-of-way Landscaping Requirements
 All street rights-of-way located adjacent to the proposed development shall be improved with grass or ground cover material and shall be maintained. It shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass planted in the right-of-way is watered and maintained and to ensure that excess water will enter the street drain. The design of the irrigation system shall have the design on the ultimate proposed width of the street when designing the system. The plans for design of the irrigation system shall be approved by the city prior to installation.
 Sec. 5.9 - Parking lot Landscaping
 A. Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 square feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping.
 B. If the parking and maneuvering space exceeds 20,000 square feet one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. No tree shall be planted closer than 21 feet to the pavement.
 1. No required parking space may be located more than 80 feet from the trunk of a large canopy tree.
 2. No tree may be planted closer than 21 feet to the pavement.
 3. All trees must be internal to the parking lot.
 Sec. 5.11 - Discontinuity of Landscaping
 All required landscaping shall be no less than five feet wide and a minimum of 25 square feet in area unless it is within ten feet of the building.
 Sec. 5.12 - Required Landscaping
 A. Amount of Landscaping
 1. Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts set forth as follows. The requirements shall be applied to the total site area to be developed.
 Commercial 15 33
 The total site area required for landscaping may be reduced by no more than five percent in accordance with the provisions of section 6. For example, the required percentage of 15 percent for commercial zoning could be reduced to a total of ten percent under the terms of section 6.

A. Location of Landscaping: No less than 50 percent of the total requirement shall be located in front of and along side buildings with street frontage on the following zoning districts: "R", "14", "10", "30", "102", "1", "C", and "R1". One hundred percent of the total requirement shall be located in front of and along side buildings with street frontage on the following zoning districts: "M", "L1", "L2", "L3", "L4", "L5", "L6", "L7", "L8", "L9", "L10", "L11", "L12", "L13", "L14", "L15", "L16", "L17", "L18", "L19", "L20", "L21", "L22", "L23", "L24", "L25", "L26", "L27", "L28", "L29", "L30", "L31", "L32", "L33", "L34", "L35", "L36", "L37", "L38", "L39", "L40", "L41", "L42", "L43", "L44", "L45", "L46", "L47", "L48", "L49", "L50", "L51", "L52", "L53", "L54", "L55", "L56", "L57", "L58", "L59", "L60", "L61", "L62", "L63", "L64", "L65", "L66", "L67", "L68", "L69", "L70", "L71", "L72", "L73", "L74", "L75", "L76", "L77", "L78", "L79", "L80", "L81", "L82", "L83", "L84", "L85", "L86", "L87", "L88", "L89", "L90", "L91", "L92", "L93", "L94", "L95", "L96", "L97", "L98", "L99", "L100".
 B. Selection of Trees: Selection trees shall be landscaped in a natural manner using ground cover, grasses, shrubs and trees in all dry land areas. There shall be a minimum of one tree for each 150 square feet of dry land area.
 SECTION - LANDSCAPE CREEDS
 Credits toward achieving landscape requirements may be achieved as follows:
 Sec. 6.1 - Credits for required landscape buffer strips between residential and nonresidential zoning.
 The overall landscaping requirement may be reduced by 2.5 percent when a surface parking lot located adjacent to a public street is situated as follows:
 A. The system must be voluntary, not required by this Unified Development Code.
 B. The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.
 C. The screening must be at least three feet in height utilizing only evergreen planting materials, bushes, and/or masonry walls.
 D. The adjacent street must be generally at the same grade level of the parking lot or below for each credit to qualify. Sec. 6.3 - Credit for right-of-way landscaping. ROCKWALL LANDSCAPE STANDARDS
 The overall landscaping requirement may be reduced by 2.5 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:
 A. All landscaping in the right-of-way shall be provided sufficient irrigation for maintenance.
 B. Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.
 C. The plan for landscaping in right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way.
 D. In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not apply.
 E. Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass areas shall not qualify for this credit.
 F. If the city has an adopted landscape plan for the street adjacent to the proposed project, any proposed improvements must be in compliance with said plan. Sec. 6.4 - Credit for screening.
 The overall landscaping requirement may be reduced by 2.5 percent when the planning director or his/her designee determines that the standards stipulated by sections 5.7-10, landscaping standards of this article have been satisfied.

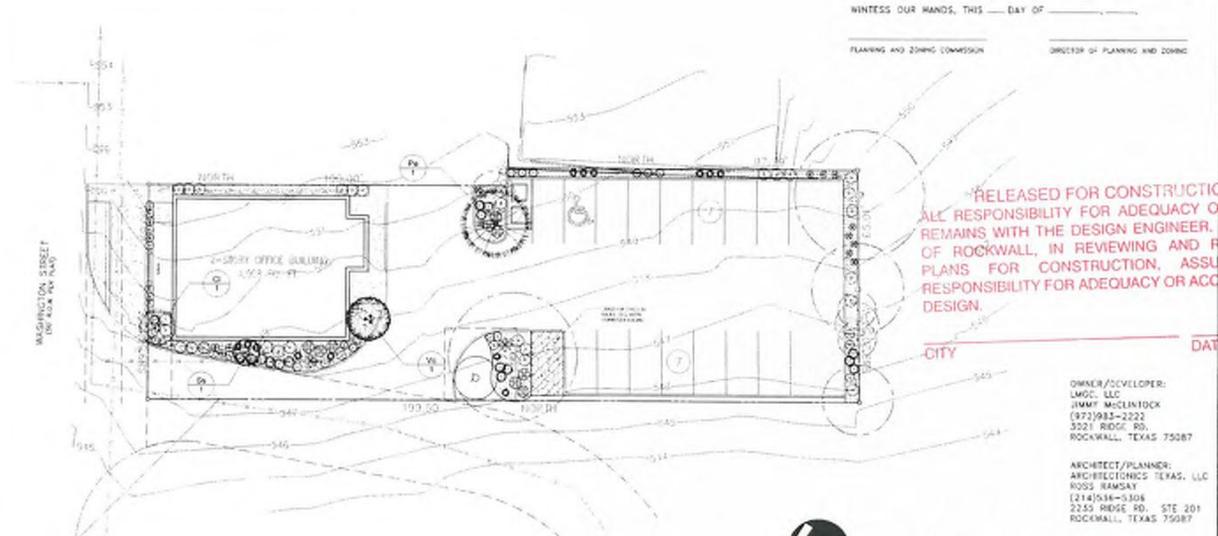
PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT.	QTY.	MITIGATION
	O	Chippewa / Lucena Hamilton / Desert Willow 2" cal. *ROCKWALL APPROVED TREE	0.8.0	1	3"
	Pe	Pinus edulis / Algar Pine 1 1/2" cal. *ROCKWALL APPROVED TREE	0.8.0	1	6"
	Sa	Saphora secundiflora / Texas Mountain Laurel 2" cal.	20' Box	1	2"
	Vc	Vincetoxicum / Chaste Tree 2" cal.	0.8.0	1	3"
SHRUBS					14"
	Bry	Buxus microphylla / Lateral Boxwood	3 gal.	10	
	Hr	Heptamelia parviflora / Red Yucca *ROCKWALL APPROVED PLANT	5 gal.	10	
	Lr	Lantana montevidensis / New Gold / Gold Lantana	1 gal.	13	
	Lc	Leucosiphum fulgens / Green Cloud / Texas Ramper *ROCKWALL APPROVED PLANT	5 gal.	9	
	Ls	Ligustrum sinense / Sunshine / Sunshine Ligustrum	5 gal.	8	
	Ld	Leucophaea diversicaerulea / Blue Diamond / Freesia Flower *ROCKWALL APPROVED PLANT	5 gal.	3	
	Mh	Muhlenbergia capillaris / Soft Grass Muhlenbergia	3 gal.	11	
	Ml	Miscanthus sinensis / Adagio / Dwarf Maiden Grass *ROCKWALL APPROVED PLANT	5 gal.	1	
	M	Muhlenbergia capillaris / Muley Grass *ROCKWALL APPROVED PLANT	3 gal.	9	
	Ph	Pennisetum a. Hancei / Dwarf Fountain Grass *ROCKWALL APPROVED PLANT	5 gal.	13	
	Pv	Pithecolobium tobira / Variegated Mock Orange	5 gal.	20	
	Rp	Rosemaria officinalis / Prostratus / Trailing Rosemary *ROCKWALL APPROVED PLANT	1 gal.	6	
	Sg	Sedum greggii / Pink / Pink Autumn Sage	3 gal.	3	
CACTI					
	At	Agave ovatifolia / Freely Blue / White's Tongue Agave	5 gal.	2	
GROUND COVERS					
	Ch	Cynodon dactylon / 419 Hybrid / Bermuda Grass *ROCKWALL APPROVED PLANT	sq ft	204 sf	
	Dg	Decomposed Granite 1/4" minus screened Orange D.G. over filter fabric	2" deep	163 sf	
	Hm	Hardwood / Mulch	2" deep	834 sf	
	Ts	Texas Black / SIF	2" deep	963 sf	

B PLANT SCHEDULE

SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT PERCENTAGE
LOT	12.383
IMPERVIOUS	10.323
2 STORY OFFICE/RETAIL	2.247
PAVEMENT AREA	7.763
PERVIOUS	2.996
SIDEWALK SPACES	290
MAX. BUILDING HEIGHT PROPOSED	27'-0"
PARKING REQUIREMENTS	4,000 S.P.
OFFICE (1:300 S.P.)	14
PARKING PROVIDED	14
PARKING REQ'D	14



A PLANTING PLAN

REQUIRED PLANTINGS
 A. STREET TREES:
 1 TREE FOR EVERY 50 L.F. OF FRONTAGE
 W Washington Street - 60 / 50 = 1.2 (1) 3" TREE REQUIRED (1) 3" TREE PROVIDED

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A B-STATION SMART CONTROLLER WITH WIFI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

NOTE:
 NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2020.
 WITNESS OUR HANDS, THIS ____ DAY OF _____, 2020.
 PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
 LMGC, LLC
 21455 RAMSAY
 (972) 983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 2255 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087

PLANTING PLAN

407 W WASHINGTON
 LANDSCAPE PLANS

LMGC, LLC
 21455 RAMSAY
 ROCKWALL, TX 75087
 (972) 983-2222
 lm@lmgc.com

STATE OF TEXAS
 PLANNING AND ZONING COMMISSION

APPROVED: _____ DATE: _____

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2020.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
 LMGC, LLC
 21455 RAMSAY
 (972) 983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 2255 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087

20-10-103
 SEPTEMBER 11, 2020
 L2.1

TREES TO BE PRESERVED

TREE PROTECTION SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
2	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1 : 1	8"	PROTECT
3	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
4	Carya texana	Black Hickory	PROTECTED	STANDARD	17"	1 : 1	17"	PROTECT
5	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
6	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1 : 0.5	4"	PROTECT
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
8	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1 : 0.5	6.5"	PROTECT
TOTAL CALIPER INCHES OF TREES TO BE PRESERVED							69.2"	

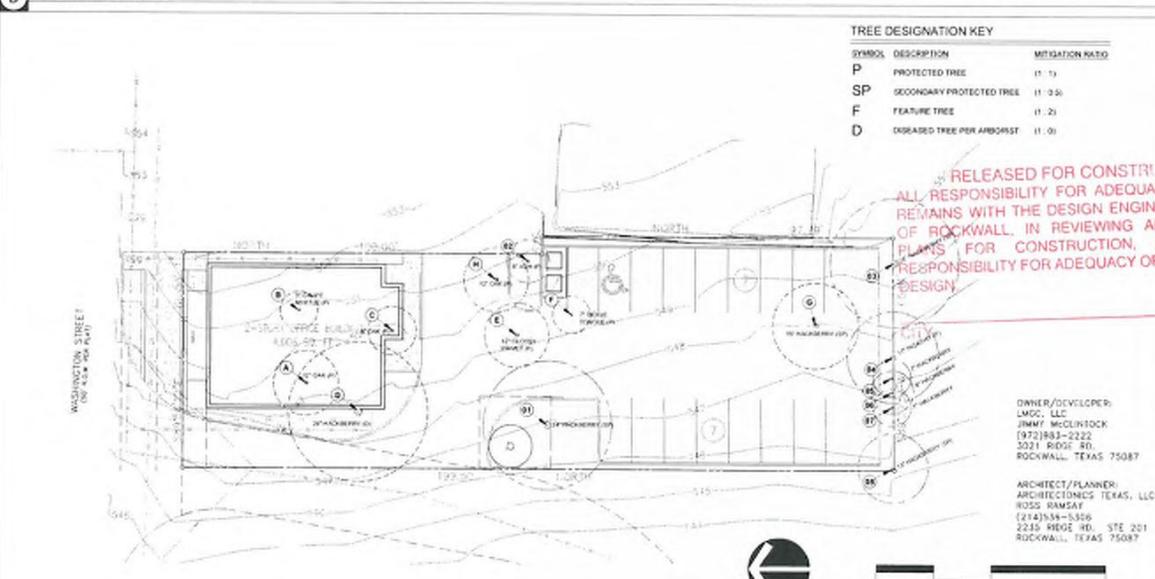
TREES TO BE REMOVED

TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
1	Quercus sp	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
2	Ligustrum indica	Crape Myrtle	PROTECTED	MULTI	7"	1 : 1	7"	REMOVE
3	Quercus sp	Oak	PROTECTED	STANDARD	9"	1 : 1	9"	REMOVE
4	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	25"	1 : 0.0	0"	REMOVE
5	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1 : 1	12"	REMOVE
6	Zanthoxylum clavatum	Tickle Tongue tree	PROTECTED	STANDARD	7"	1 : 1	7"	REMOVE
7	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1 : 0.5	8"	REMOVE
8	Quercus sp	Oak	PROTECTED	STANDARD	12"	1 : 1	12"	REMOVE
TOTAL CALIPER INCHES OF TREES TO BE REMOVED							60"	

55' x 20% = 11 x \$100 = 1,340 \$1,340 to be paid to the City of Rockwall tree fund
 55' x 60% = 44 44' minimum to be planted as mitigation
 The City of Rockwall has agreed to waive mitigation requirements on tree 1' - 12" Oak.
 Tree D is diseased and should be removed to prevent property damage.

B TREE SCHEDULES



A TREESCAPE PLAN



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT PERCENTAGE
LOT	12.383
IMPERVIOUS	10.373
2 STORY OFFICE/PORCHES	2.241
PAVEMENT AREA	7.783
PERVAOUS	2.386
SCREENING / STAIRS	263
MAX BUILDING HEIGHT PROPOSED	27' 6"
PARKING REQUIREMENTS	
OFFICE (1'300 S.F.)	4,000 S.F.
PARKING PROVIDED	14
PARKING REQ'D	14

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.
 WITNESS OUR HANDS, THIS ____ DAY OF ____.
 PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of the City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article 84 - TREE PRESERVATION also The City of Rockwall - Article VII - LANDSCAPE STANDARDS

THERE IS ONE EXISTING FEATURE TREES ON THIS SITE (ie 25" caliper or more of the protected species) THAT TREE IS TO BE REMOVED - THE TREE IS DAMAGED AND ROTTING.

NOTE ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5 - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3. Exemptions, if this article in addition, if a landscape plan or tree removal permit allows for the removal of a protected or feature tree(s), the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees: Primary protected trees measuring four inches through 24 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees: Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- Featured trees: Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected tree: No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of live oaks, yellow redbarked, sycamore and Chinquapin trees.
- Tree preservation credits: For each saved oak, pecan or elm trunk 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance + 20 percent = total eligible tree preservation credits).
- Mitigation balance: The total mitigation balance (i.e. mitigation balance - tree preservation credits + total mitigation balance) may be satisfied through one or a combination of the following:
 - The developer/property owner can provide the required number of trees three-inch caliper DBH minimum on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on site to satisfy the mitigation requirements).
 - The developer/property owner may petition the parks and recreation department to accept the required number of trees three-inch caliper DBH minimum to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facility agreement be approved prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. 20% x 100) + \$200.00 = \$4,200.00) into the city's tree fund. However, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches. In addition, if the developer/property owner plants a tree on (i) the property for which the tree preservation credit was awarded or (ii) a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street right-of-way, or other similar areas as determined by the parks and recreation department.
 - Trees required by article VIII, landscape standards, of this Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the proposed landscaping.
- Alternative tree mitigation/offset agreements: In certain cases, the city council, upon recommendation from the planning and zoning commission, may consider an alternative tree mitigation/offset agreement. Due to the fact that the applicant is unable to meet the requirements of the article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant, these funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street right-of-way, or other similar areas as determined by the parks and recreation department.

C TREE PRESERVATION NOTES

407 W WASHINGTON, LANDSCAPE PLANS
 2617 Jamboree Lake
 Rockwall, TX 75087
 Phone: (972) 339-1825
 Fax: (972) 339-1825
 mayer@mayersstudio.com

MAYER
 LANDSCAPE ARCHITECTS



DATE: _____
 BY: _____
 FOR: _____

RELEASED FOR CONSTRUCTION DESIGN
 ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

DATE: _____
 FOR: **LMGC, LLC OFFICE**
 407 W WASHINGTON ST
 ROCKWALL, TX 75087

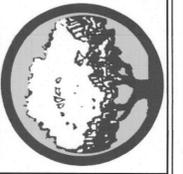
OWNER/DEVELOPER:
 LMGC, LLC
 21405 WASHINGTON
 (972) 883-2222
 3021 ROSE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 8032 RAMFAY
 (214) 384-5356
 2215 REGE RD. STE 201
 ROCKWALL, TEXAS 75087

20-10-103
 SEPTEMBER 11, 2020
 L1.1



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

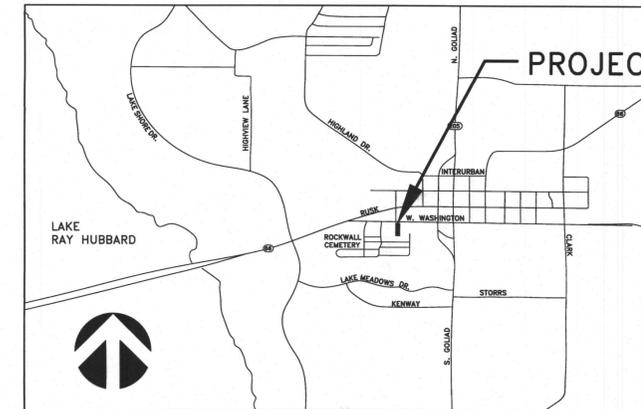
PROJECT NAME AND ADDRESS:
LMGC, LLC OFFICE
 407 W WASHINGTON
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	09/02/2020
SCALE	1" = 10'
SHEET NO.	of

DRAWING NAME:
SITE PLAN

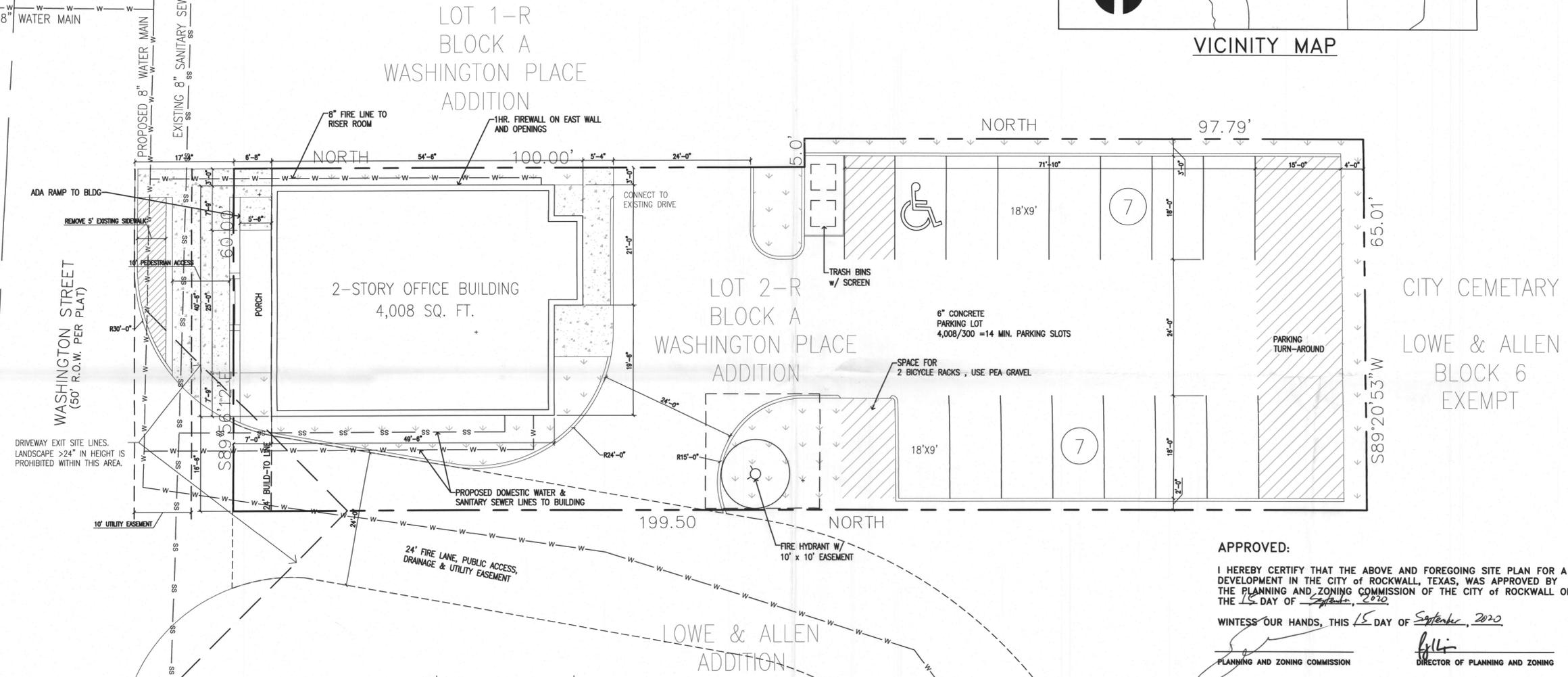
S1.0

SP2020-017



VICINITY MAP

PROJECT LOCATION



APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.
 WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.
 [Signature] DIRECTOR OF PLANNING AND ZONING

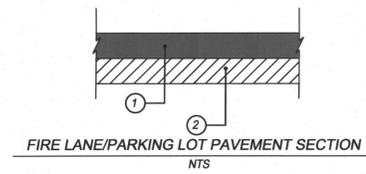
SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
LOT	12,383	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,783	64%
PERVIOUS	2,060	16%
SIDEWALK / STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1,300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

OWNER/DEVELOPER:
 LMGCC, LLC
 JIMMY McCLINTOCK
 (972)983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214)536-5306
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087



SITE PLAN
 SCALE: 1"=10'



- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



REVISIONS	DATE	DESCRIPTION/ISSUE

PROJECT NAME AND ADDRESS:
LMCC, LLC OFFICE
 407 W WASHINGTON
 ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	09/02/2020
SCALE	
SHEET NO.	of

DRAWING NAME:
ELEVATIONS
 A1.0
 SP2020-017

MATERIAL USAGE (%) - WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - EAST

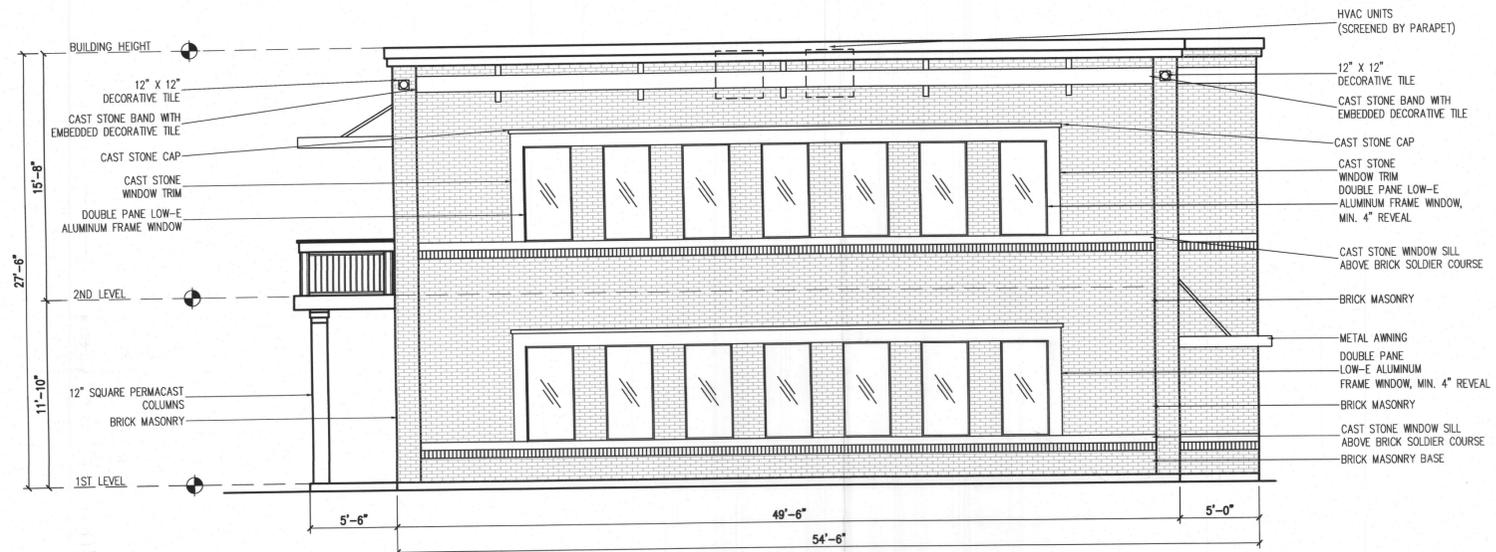
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,586	
DOORS & WINDOWS (DEDUCTED)		216	
ACCOUNTABLE AREA		1,370	100%
MASONRY - BRICK		1,176	86%
CAST STONE		194	14%

MATERIAL USAGE (%) - NORTH (FACING WASHINGTON)

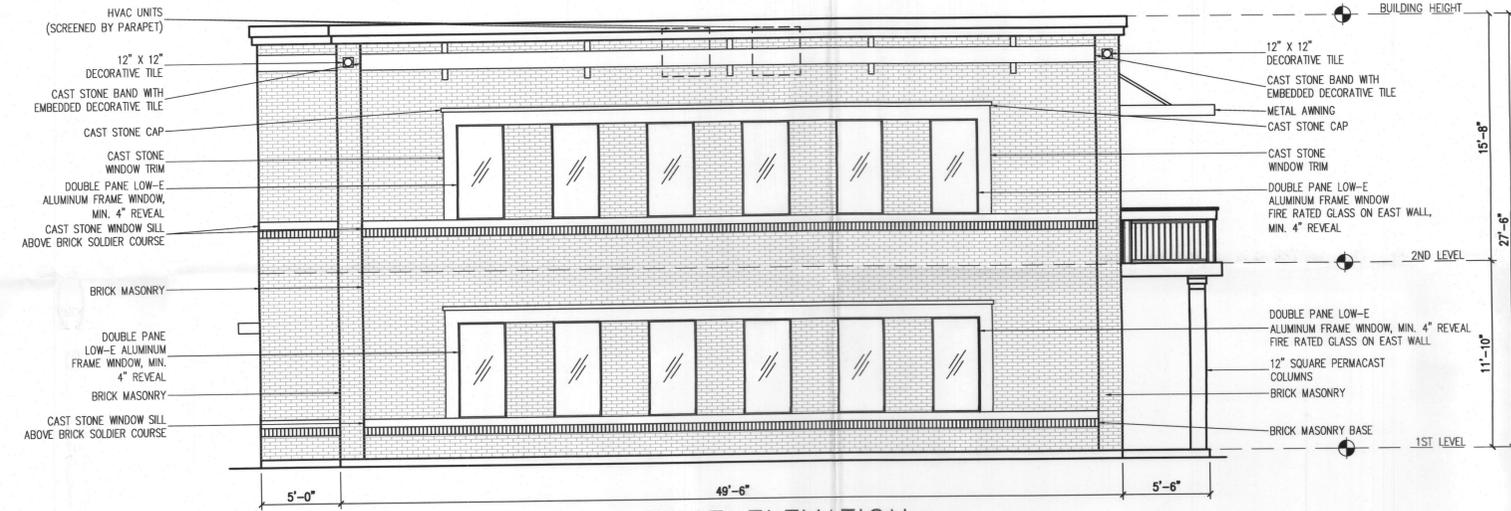
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		264	
ACCOUNTABLE AREA		863	100%
MASONRY - BRICK		621	72%
CAST STONE		242	28%

MATERIAL USAGE (%) - SOUTH

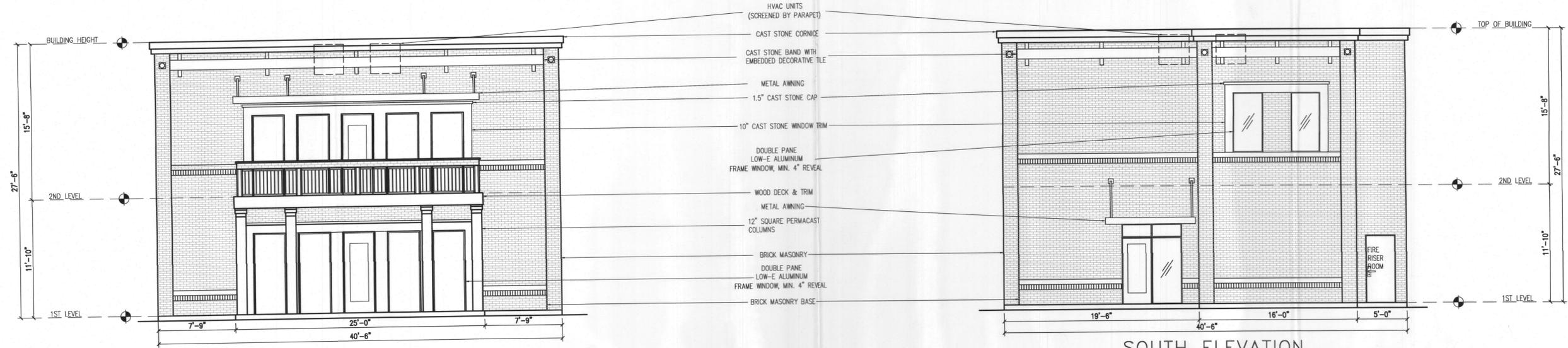
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,127	
DOORS & WINDOWS (DEDUCTED)		219	
ACCOUNTABLE AREA		908	100%
MASONRY - BRICK		780	86%
CAST STONE		128	14%



WEST ELEVATION
 SCALE: 3/16" = 1'



EAST ELEVATION
 SCALE: 3/16" = 1'



NORTH ELEVATION (FACING W. WASHINGTON)
 SCALE: 3/16" = 1'

SOUTH ELEVATION
 SCALE: 3/16" = 1'

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 WITNESS OUR HANDS, THIS 15 DAY OF September, 2020.
 [Signature] DIRECTOR OF PLANNING AND ZONING
 [Signature] PLANNING AND ZONING COMMISSION

BY: _____
DATE: _____
REVISIONS: _____

PLANTING PLAN

OWNER/DEVELOPER:
LMGC, LLC
JIMMY McCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

JOB: LMG, LLC OFFICE
407 W WASHINGTON ST
ROCKWALL, TX 75087

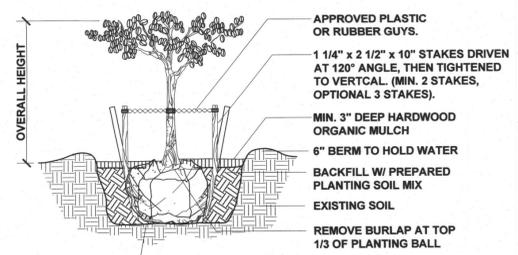
20-10-103
DATE: SEPTEMBER 11, 2020

L2.1
SHEET:

SECTION 6. - LANDSCAPE CREDITS
Credits toward achieving landscape requirements may be achieved as follows.
Sec. 6.1. - Credit for required landscape buffer-strips between residential and nonresidential zoning.
The overall landscaping requirement may be reduced by 2.5 percent when the buffer-strip, whether required or not, has a minimum average width of 15 feet or greater and contains at least one large tree every 40 feet, or large shrubs at least every ten feet the entire length of the perimeter adjacent to property with residential zoning. This perimeter must equal at least 25 percent of the total perimeter of all adjacent private property.
Sec. 6.2. - Credit for surface parking screening.
The overall landscaping requirement may be reduced by 2.5 percent when a surface parking lot located adjacent to a public street is screened as follows:
A. The screen must be voluntary, not required by this Unified Development Code.
B. The screening must be located along the entire length of street frontage of the parking lot, exclusive of driveways, accessways, and visibility triangles. Visibility triangles will be maintained at all driveway intersections.
C. The screening must be at least three feet in height utilizing only evergreen planting materials, berms, and/or masonry walls.
D. The adjacent street must be generally at the same grade level of the parking lot or below for such credit to qualify.
Sec. 6.3. - Credit for right-of-way landscaping. ROCKWALL LANDSCAPE STANDARDS
The overall landscaping requirement may be reduced by 2.5 percent when the public right-of-way adjacent to a proposed development is landscaped meeting the following requirements:
A. All landscaping in the right-of-way shall be provided sufficient irrigation for maintenance.
B. Plants used in landscaping in the right-of-way shall only be varieties included on the approved plant list.
C. The plan for landscaping in right-of-way shall be submitted and approved by the city prior to any work being done in the right-of-way.
D. In certain cases, the city may determine that landscaping in the right-of-way may be infeasible and in such cases this credit shall not apply.
E. Landscaping shall include ground cover, shrubs, trees and/or other plant materials and must cover at least 50 percent of the adjacent right-of-way, exclusive of driveways, to qualify for this credit. Grass alone shall not qualify for this credit.
F. If the city has an adopted landscape plan for the street adjacent to the proposed project, any proposed improvements must be in compliance with said plan.
Sec. 6.4. - Credit for xeriscaping.
The overall landscaping requirement may be reduced by 2.5 percent when the planning director or his/her designee determines that the standards stipulated by section 5.10, xeriscaping standards, of this article have been satisfied.

EXCERPTS FROM ROCKWALL LANDSCAPE STANDARDS:
Sec. 5.7. - Street landscaping.
A street landscape buffer-strip with a minimum width of ten feet, must be provided along the entire length of the property to be developed that is adjacent to a major arterial or collector street, as defined in the city's thoroughfare plan, exclusive of driveways and access-ways. Large trees, as herein defined, shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage.
Sec. 5.8. - Right-of-way landscaping requirements.
All street rights-of-way located adjacent to the proposed development shall be improved with grass or ground cover material and shall be maintained. It shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in the right-of-way is watered and maintained and to ensure that minimal water will enter the street itself. The designer of the irrigation system shall base the design on the ultimate proposed width of the street when designing the system. The plans for design of the irrigation system shall be approved by the city prior to installation.
Sec. 5.9. - Parking lot landscaping.
A. Any parking lot with more than two rows of spaces shall have a minimum of five percent or 200 square feet, whichever is greater, in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping.
B. If the parking and maneuvering space exceeds 20,000 square feet one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. No tree shall be planted closer than 2 1/2 feet to the pavement.
1. No required parking space may be located more than 80 feet from the trunk of a large canopy tree.
2. No tree may be planted closer than 2 1/2 feet to the pavement.
3. All trees must be internal to the parking lot.
Sec. 5.11. - Dimensions of landscaping.
All required landscaping shall be no less than five feet wide and a minimum of 25 square feet in area unless it is within ten feet of the building.
Sec. 5.12. - Required landscaping.
A. Amount of landscaping.
1. Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts set forth as follows. The requirements shall be applied to the total site area to be developed.
Commercial 15 10
The total site area required for landscaping may be reduced by no more than five percent in accordance with the provisions of section 6. For example, the required percentage of 15 percent for commercial zoning could be reduced to a total of ten percent under the terms of section 6.

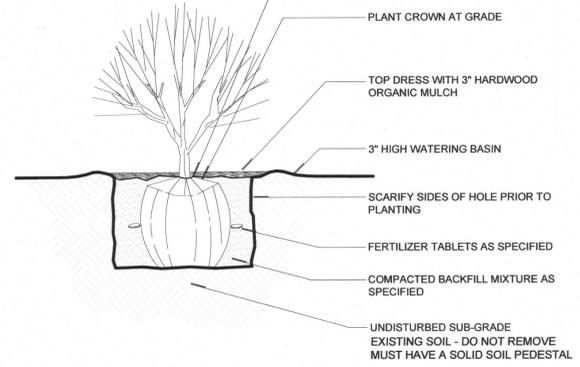
NOTE:
USE 1 1/4" x 1 1/4" x 4" STAKES FOR TREES 1 1/2" TO 1 1/4" CALIPER. OTHER TREE STAKING SYSTEMS MAY BE ACCEPTABLE IF APPROVED.



EXISTING SOIL - DO NOT REMOVE MUST HAVE A SOLID SOIL PEDESTAL

C TREE PLANTING DETAIL

NOTE: PULL BACK MULCH BACK FROM BASE OF PLANTS



D SHRUB PLANTING DETAIL

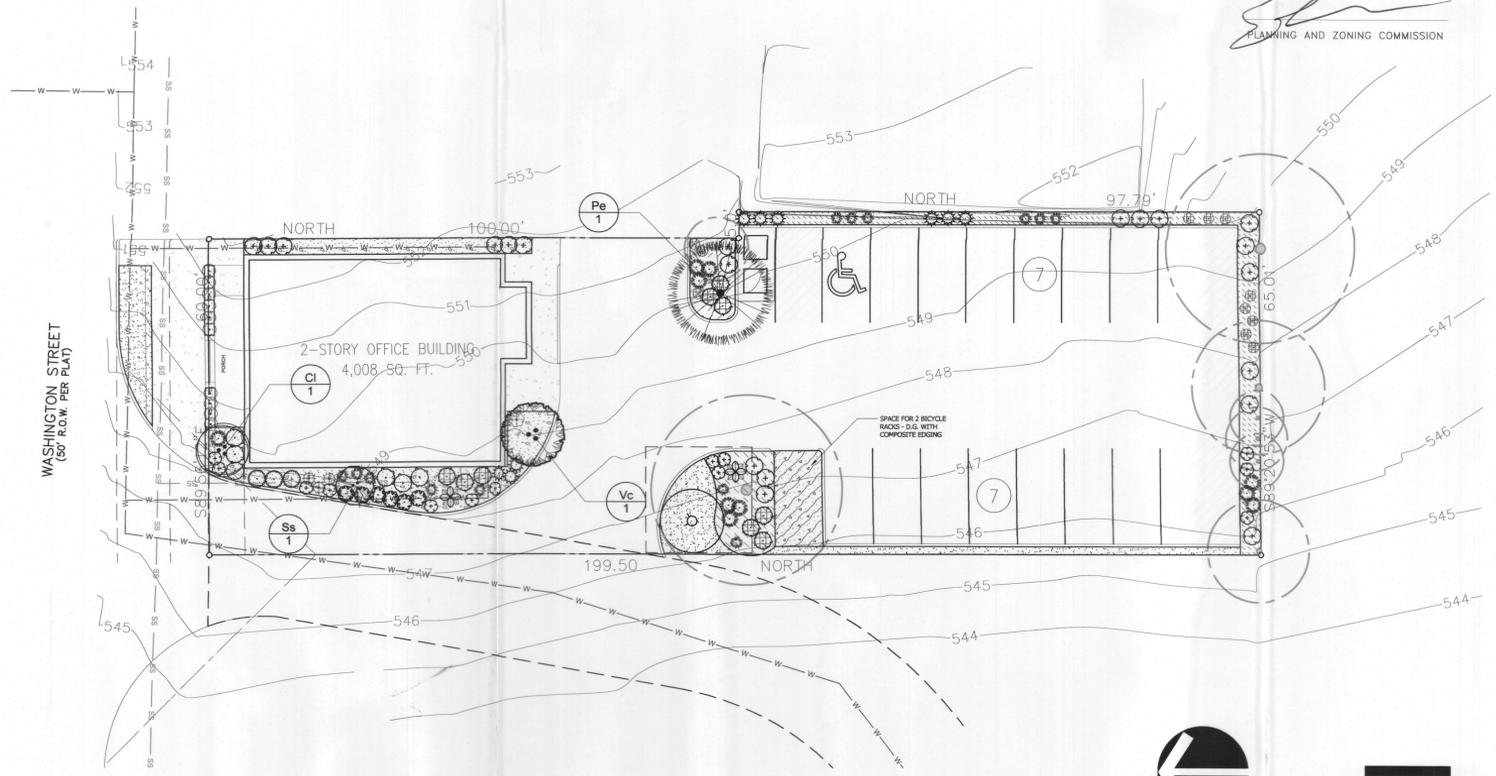
PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	MITIGATION
	Cl	Chilopsis l 'Lucretia Hamilton' / Desert Willow 3" cal. * ROCKWALL APPROVED TREE	B & B	1	3"
	Pe	Pinus ularia / Afghan Pine 6" cal. * ROCKWALL APPROVED TREE	B & B	1	6"
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	1	2"
	Vc	Vitex agnus-castus / Chaste Tree 3" cal.	B & B	1	3"
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	14"
	Bmj	Buxus microphylla / Littleleaf Boxwood	3 gal	10	
	Hp	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT	5 gal	10	
	Lm	Lantana montevidensis 'New Gold' / Gold Lantana	1 gal	13	
	Lg	Leucophyllum frutescens 'Green Cloud' / Texas Ranger * ROCKWALL APPROVED PLANT	5 gal	9	
	Ls	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	5 gal	6	
	Lp	Loropetalum chinense 'Purple Diamond' / Fringe Flower * ROCKWALL APPROVED PLANT	5 gal	3	
	Msc	Mahonia 'Soft Caress' / Soft Caress Mahonia	3 gal	11	
	Ma	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass * ROCKWALL APPROVED PLANT	5 gal	1	
	Mr	Muhlenbergia capillaris / Muhly Grass * ROCKWALL APPROVED PLANT	5 gal	9	
	Ph	Pennisetum a. 'Hameln' / Dwarf Fountain Grass * ROCKWALL APPROVED PLANT	5 gal	13	
	Ptv	Pittosporum tobira 'Variegata' / Variegated Mock Orange	5 gal	20	
	Rop	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary * ROCKWALL APPROVED PLANT	1 gal	6	
	Sg	Salvia greggii 'Pink' / Pink Autumn Sage	3 gal	3	
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	Af	Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave	5 gal	2	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
	Ch	Cynodon dactylon '419 Hybrid' / Bermuda Grass * ROCKWALL APPROVED PLANT	sod	294 sf	
	Dg	Decomposed Granite 1/4" minus screened Orange D.G. over filter fabric	2" deep	163 sf	
	Hm	Hardwood / Mulch	2" deep	834 sf	
	Tb	Tejas Black / 5/8"	2" deep	669 sf	

B PLANT SCHEDULE

SITE SUMMARY - COMMERCIAL ZONING

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PAVEMENT AREA	7,783 64%
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MAX. BUILDING HEIGHT PROPOSED	27'-6"
PARKING REQUIREMENTS	
OFFICE (1:300 S.F.)	4,008 S.F.
PARKING PROVIDED	14
PARKING REQ'D	14



A PLANTING PLAN

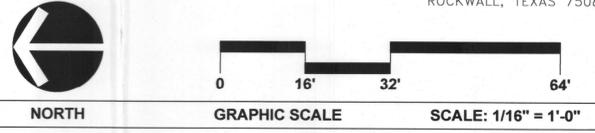
REQUIRED PLANTINGS

A. STREET TREES:
1 TREE FOR EVERY 50 L.F. OF FRONTAGE
W Washington Street - 60 / 50 = 1.2 (1) 3" TREE REQUIRED (1) 3" TREE PROVIDED

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 8 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

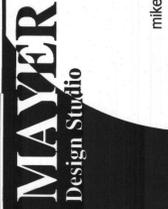
NOTE:
NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

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PLANNING AND ZONING COMMISSION
DIRECTOR OF PLANNING AND ZONING





Landscape Architecture
TX #2629 NV #583
2617 Jasmine Lane
Plano, TX 75074
voice (702) 339-0825
mike@mayerdesignstudio.com



REVISIONS	DATE	BY



TREE PROTECTION SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
01	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
02	Fraxinus texensis	Texas Ash	PROTECTED	STANDARD	8"	1:1	8"	PROTECT
03	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	24"	1 : 0.5	12"	PROTECT
04	Carya texana	Black Hickory	PROTECTED	STANDARD	17"	1:1	17"	PROTECT
05	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
06	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	8"	1 : 0.5	4"	PROTECT
07	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	7"	1 : 0.5	3.5"	PROTECT
08	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	13"	1 : 0.5	6.5"	PROTECT
TOTAL CALIPER INCHES OF TREES TO BE PRESERVED:							66.5"	



TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
A	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	12"	REMOVE
B	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	7"	1:1	7"	REMOVE
C	Quercus sp	Oak	PROTECTED	STANDARD	9"	1:1	9"	REMOVE
D	Celtis occidentalis	Hackberry	DAMAGED	STANDARD	26"	1 : 0.0	0"	REMOVE
E	Ligustrum lucidum	Glossy Privet	PROTECTED	MULTI	12"	1:1	12"	REMOVE
F	Zanthoxylum clava-herculis	Tickle Tongue Tree	PROTECTED	STANDARD	7"	1:1	7"	REMOVE
G	Celtis occidentalis	Hackberry	SECONDARY	STANDARD	16"	1 : 0.5	8"	REMOVE
H	Quercus sp	Oak	PROTECTED	STANDARD	12"	1:1	* 0"	REMOVE
TOTAL CALIPER INCHES OF TREES TO BE REMOVED:							55"	

55" x 20% = 11 x \$100 = 1,340 \$1,100 to be paid to The City of Rockwall tree fund.
 55" x 80% = 44 44" minimum to be planted as mitigation
 The City of Rockwall has agreed to waive mitigation requirements on tree 'H' - 12" Oak.
 Tree 'D' is diseased and should be removed to prevent property damage.

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[Signature]
PLANNING AND ZONING COMMISSION

[Signature]
DIRECTOR OF PLANNING AND ZONING

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties owed at the discretion of The City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article IX - TREE PRESERVATION
 also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

THERE IS ONE EXISTING FEATURE TREE ON THIS SITE (ie. 25" caliper or more of the protected species) THAT TREE IS TO BE REMOVED - THE TREE IS DAMAGED AND ROTTING.

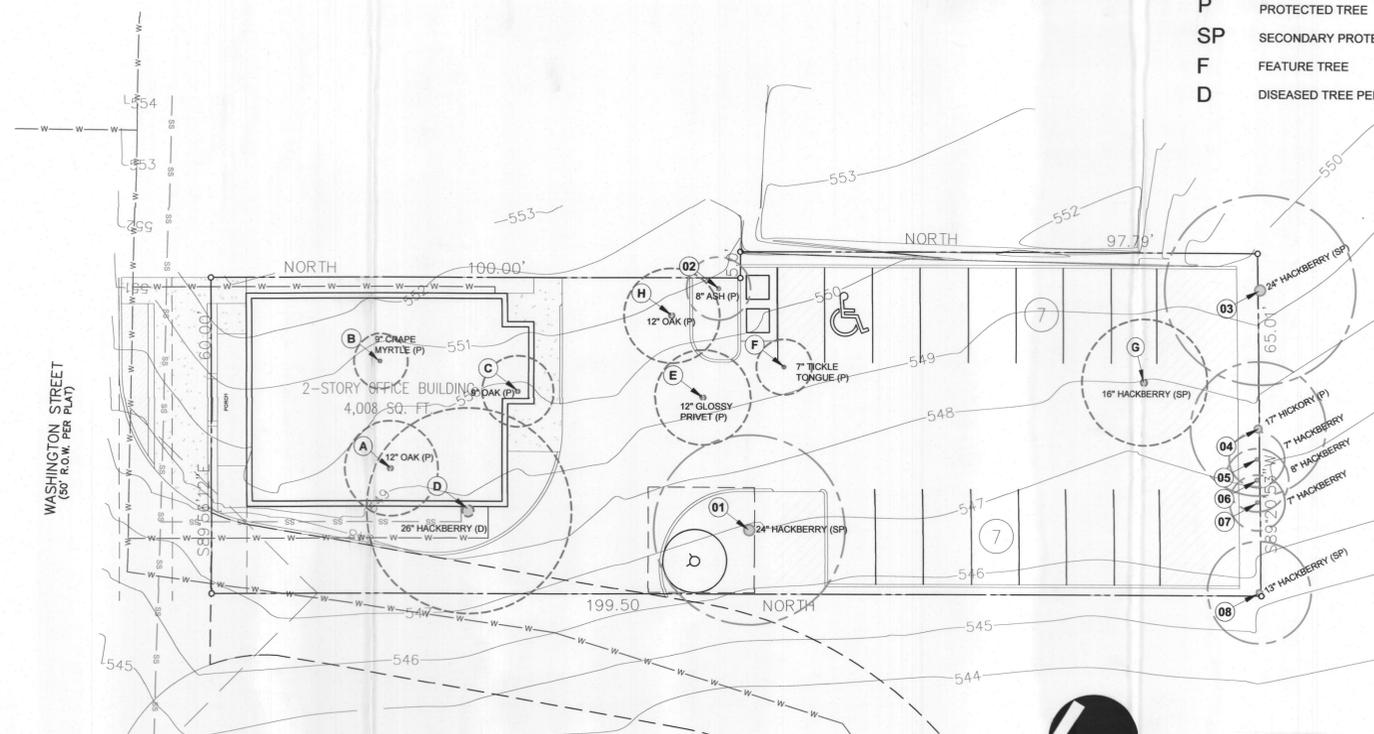
NOTE:
 ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

SECTION 5. - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply for all properties that do not fall under the exemptions listed in section 1.3, Exemptions, of this article. In addition, if a treescape plan or tree removal permit allows for the removal of a protected or feature tree(s), the applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees.** Primary protected trees measuring four inches through 25 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees.** Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (1/2) of the inches being removed).
- Featured trees.** Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected tree.** No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of Bois d'Arc, willow, cottonwood, locust and Chinaberry trees.
- Tree preservation credits.** For each saved oak, pecan or elm tree(s) 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance x 20 percent = Total eligible tree preservation credit).
- Mitigation balance.** The total mitigation balance (i.e. mitigation balance - tree preservation credits = total mitigation balance) may be satisfied through one or a combination of the following:
 - The developer/property owner can provide the required number of trees—three-inch caliper DBH minimum—on the subject property to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on-site to satisfy the mitigation requirements).
 - The developer/property owner may petition the parks and recreation department to accept the required number of trees—three-inch caliper DBH minimum—to offset the total mitigation balance (e.g. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facilities agreement be approved prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (e.g. if total mitigation required was 100 inches the developer/property owner could pay a total of \$4,000.00 (i.e. (20% x 100) x \$200.00 = \$4,000.00) into the city's tree fund; however, the developer/property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches). In addition, if the developer/property owner plants a tree on (i) the property for which the tree preservation credit was assessed or (ii) a location that is mutually agreed upon by the city and the developer/property owner, the developer/property owner shall be eligible for a reduction in the cost of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.
 - Trees required by article VIII, landscape standards, of this Unified Development Code shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the required landscaping.
- Alternative tree mitigation settlement agreements.** In certain cases, the city council—upon recommendation from the planning and zoning commission—may consider an alternative tree mitigation settlement agreement where, due to hardship, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.

B TREE SCHEDULES

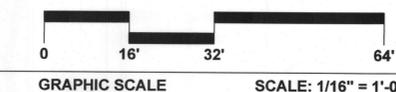


TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : 0.5)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)

A TREESCAPE PLAN

C TREE PRESERVATION NOTES



TREESCAPE PLAN

LMGC, LLC OFFICE
407 W WASHINGTON ST
ROCKWALL, TX 75087

20-10-103

SEPTEMBER 11, 2020

L1.1



LF-1
 COLOR - BLACK
 DOWN LIGHT MODEL

FEATURES & SPECIFICATIONS

INTENDED USE
 Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

CONSTRUCTION
 Cast aluminum housing with corrosion-resistant paint in either dark bronze or white finish. ADA compliant.

OPTICS
 4000K CCT LEDs.
 Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details.

ELECTRICAL
 MVOLT driver operates on any line voltage from 120-277V
 Operating temperature -30°C to 40°C.
 1KV surge protection standard.

INSTALLATION
 Surface mounts to universal junction box (provided by others).

LISTINGS
 UL Listed to U.S. and Canadian safety standards for wet locations.
 Tested in accordance with EISA 184-79 and 184-80 standards.

WARRANTY - 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

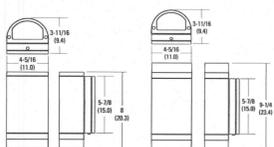
All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

Outdoor General Purpose

OLLWD & OLLWU

LED WALL CYLINDER LIGHT

Specifications
All dimensions are inches (centimeters)**ORDERING INFORMATION** For shortest lead times, configure products using bolded options.

Example: OLLWD LED P1 40K MVOLTD DB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED Downlight	P1	40K 4000K	MVOLT 120V-277V	DOB Dark bronze
OLLWD LED Up & downlight			120 120V	WB White

Notes
 1. Only available with OLLWD and in DB.
 2. Only available with OLLWU.

DECORATIVE INDOOR & OUTDOOR

OLLWD-OLLWU



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



DATE

REVISIONS

No.

PROJECT NAME AND ADDRESS

PROJECT No.

DRAWN BY

CHECKED BY

DATE

SCALE

SHEET No.

of

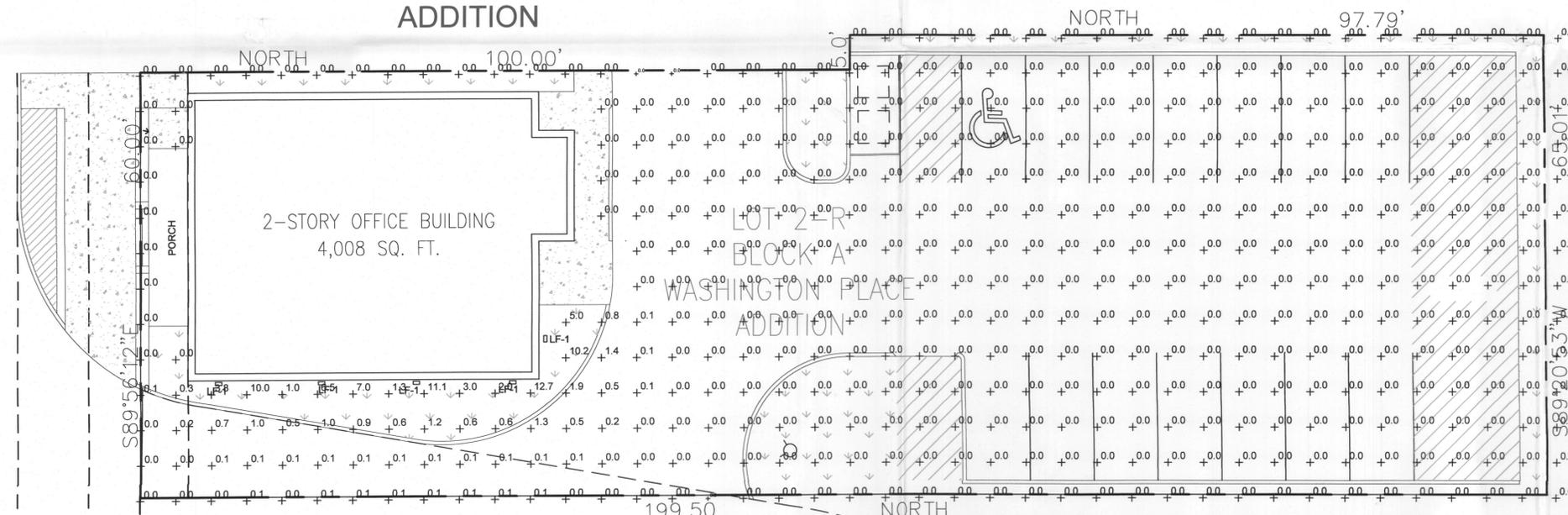
DRAWING NAME:

PHOTOMETRIC PLAN

P1.0

SP2020-017

LOT 1-R
 BLOCK A
 WASHINGTON PLACE
 ADDITION



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	AREA	LOT PERCENTAGE
LOT	12,383	100 %
IMPERVIOUS	10,323	84%
2 STORY OFFICE/PORCHES	2,247	18%
PAVEMENT AREA	7,783	64%
PERVIOUS	2,060	16%
SIDEWALK / STAIRS	293	2%
MAX. BUILDING HEIGHT PROPOSED	27'-6"	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,008 S.F.	
PARKING PROVIDED	14	
PARKING REQ'D	14	

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 15 DAY OF September, 2020.

WITNESS OUR HANDS, THIS 15 DAY OF September, 2020

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
 LMGC, LLC
 JIMMY McCLINTOCK
 (972)983-2222
 3021 RIDGE RD.
 ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (214)536-5306
 2235 RIDGE RD. STE 201
 ROCKWALL, TEXAS 75087

**SITE PLAN**

SCALE: 1"=10'
 0 10' 20'

WASHINGTON ST.

WASHINGTON STREET
 (50' R.O.W. PER PLAT)

CITY CEMETARY

LOWE & ALLEN
 BLOCK 6
 EXEMPT

LOWE & ALLEN
 ADDITION



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: February 25, 2025
SUBJECT: SP2025-004; *Site Plan for 409 W. Washington*

The applicant, Marlin Smith of Washington Place on Highway 66, LP, is requesting the approval of a Site Plan for a three (3) story, 14,789 SF *office building*. The subject property was annexed prior to 1959, is zoned Downtown (DT) District, and is situated within the SH-66 Overlay (SH-66OV) District. On July 6, 2020, the City Council approved a replat [Case No. P2020-025] of Lots 4 & 5, Block A, Washington Place Addition. On January 14, 2020, the Planning and Zoning Commission approved a Site Plan [Case No. SP2019-044] for a three (3) story 14,789 SF *office building* on the subject property. The site plan approval was set to expire on January 14, 2022 in accordance with Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2020-010]. The Engineering Plans were approved on August 31, 2020, and were considered to be valid for a period of one (1) year. On June 23, 2021, the applicant submitted a building permit [Case No. COM2021-3194]; however, this permit expired due to inactivity on June 23, 2022.

In response to this expiration, the applicant resubmitted the same Site Plan on February 14, 2025. The submitted Site Plan was the same as the original Site Plan approved under Case No. SP2019-044, with the exception of minor changes being made to the Photometric Plan. As part of the review for this case, staff has indicated to the applicant that the Photometric Plan will need to be changed to meet the lighting and photometric standards of the Unified Development Code (UDC), and this is considered a condition of approval for this case. Staff has attached the original Site Plan case memo since nothing has changed in the requirements of the Downtown (DT) District that would affect the approval of this case. As part of this case, the Planning and Zoning Commission will be tasked with reviewing the previous Site Plan approval -- *including the variances/exceptions that were granted* -- and determining if the proposal meets the criteria for Site Plan approval as outlined in Subsection 03.04, *Site Plan Review*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, staff will be taking the proposed building elevations back to the Architectural Review Board (ARB) prior to the meeting on February 25, 2025, and will provide an updated recommendation from the ARB to the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the February 25, 2025 Planning and Zoning Commission meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: January 14, 2020
APPLICANT: Steven Reyes; *Ramsay and Reyes Architecture, LLC*
CASE NUMBER: SP2019-044; *Site Plan for 409 W. Washington Street*

SUMMARY

Discuss and consider a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres], City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1959, is zoned Downtown (DT) District, is situated within the SH-66 Overlay (SH-66 OV) District, and is considered to be a part of one of the original areas of the City of Rockwall. On May 26, 2017, a building permit was issued [BLD2017-1600] for to allow the demolition of a single-family home on the subject property. Subsequently, in 2018, a building permit was issued [BLD2018-0900] to allow the demolition of a carport, a garage, and a barn on the subject property. Since that time, the property has remained vacant.

PURPOSE

The applicant has submitted a request for approval of a site plan for an office building on the subject property. The proposed office building will be approximately 16,502 SF, will be clad with brick, and will utilize a flat roof system, which is typical of the existing buildings within the Downtown (DT) District. The proposed building is designed to give the appearance of two (2) attached buildings with one (1) building being two (2) stories in height and the other building being three (3) stories in height.

ADJACENT LAND USES AND ACCESS

The subject property is located at 409 W. Washington Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the property is W. Washington Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Following this, there is a vacant tract of land and W. Rusk Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan. Beyond this, there are several single-family homes. These areas are zoned Downtown (DT) and Single-Family 7 (SF-7) District.

South: Directly south of the subject property, there is a cemetery that is owned by the City of Rockwall. Following this, there are two (2) single-family residential subdivisions (*i.e. Stonebridge Meadows, Phases 4, 3, & 2; and Ridgeview Subdivisions*) and a condominium complex (*i.e.*

Bent Tree Condominiums). These areas are zoned Cemetery (CEM), Single-Family 7 (SF-7) and Multi-Family 14 (MF-14) Districts.

East: Directly east of the subject property, there is a vacant tract of land, a real estate office (*i.e. Gold Key Realty*), and a daycare facility (*i.e. Marigold Learning Academy*). Following this, there several vacant tracts of land, a city-owned parking lot, and N. Goliad Street, which is identified as a *P3U (principle arterial, three [3]-lane, undivided roadway)* on the City's Master Thoroughfare Plan.

West: Directly west of the subject property, there is a single-family home and a City-owned cemetery. Following this, there is a daycare facility (*i.e. Children's Park Day Care*), a vacant tract of land, an office building, and a veterinary hospital (*i.e. Avery Veterinary Clinic*). Beyond this, there is a retail store with gasoline sales (*i.e. Shell*), a single-family residential subdivision (*i.e. Stonebridge Meadows, Phases 4 & 5*) and S. Lakeshore Drive, which is identified as a minor collector on the City's Master Thoroughfare Plan. These areas are zoned Downtown (DT), Cemetery (CEM), General Retail (GR), Single-Family 7 (SF-7), and Single-Family 10 (SF-10) Districts.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) the proposed office building is permitted by-right in the Downtown (DT) District. With the exception of the minor waivers being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within the Downtown (DT) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Building Height</i>	<i>Min. 2 Stories Max. 4 Stories</i>	<i>X=2 Stories and 3 Stories; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>24-Feet</i>	<i>X=24-Feet; In Conformance</i>
<i>Pedestrian Walkway Width</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>100%</i>	<i>X=100%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>55 Spaces</i>	<i>X=55 Spaces; In Conformance</i>

TREESCAPE PLAN

The applicant has indicated that there are no protected trees requiring mitigation on the subject property.

CONFORMANCE WITH THE CITY'S CODES

The proposed office building conforms to the requirements stipulated in Subsection 4.07, *Downtown (DT) District*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) as follows:

- (1) **Function/Land Use.** Retail, personal service, residential, and office uses shall be allowed throughout the district. In this case, the proposed use is an office building and conforms to this requirement.
- (2) **Block Face.** Building walls should be continuous along block faces to create a strong edge to the street an contribute to creating and attractive and active pedestrian environment. In this case, the building utilizes a design that gives the appearance of two (2) buildings with a continuous block face. The building will also utilize contrasting brick patterns/colors to give the appearance of two (2) attached buildings.

- (3) Building Form. Buildings shall be designed and constructed in a tri-partite architecture to that they have a distinct base, middle, and top. The proposed building elevations appear to conform to this requirement.
- (4) External Façade Materials. Ground floor exterior walls, excluding windows and doors, shall be constructed of 100% brick, natural or cast stone. The applicant is proposing to utilize 100% brick.
- (5) Color. The dominant color of all buildings shall be muted shades of warm grey, red, green, beige, or brown. Black, gold, and stark white shall not be used except as an accent color. The submitted building elevations indicate that the brick will be brown.
- (6) Non-residential at Grade. The ground floor entry must be located at the approximate elevation of the adjacent sidewalk. All of the proposed entryways conform to this requirement.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exception to the requirements of the Unified Development Code (UDC):

(1) *Building Standards*

- (a) Architectural Features. According to Subsection 4.07, *Downtown (DT) District*, of Section 4, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), each building and separate lease space at grade along the street edge shall have a functioning primary entry from the sidewalk. Such entries must be inset from the front building plane by at least five (5)-feet. Secondary entries may be set back as little as three (3)-feet. Functioning entries must be located no greater than 30-feet apart. The applicant is providing two (2) primary entries adjacent to W. Washington street; however, the entryways are not recessed five (5) feet behind the building plane. Alternatively, the applicant has provided a stoop with a canopy at the entryway located closest to the eastern property line and a canopy at the entryway closest to the western property line. Additionally, the distance between the two (2) entries is greater than 30-feet (*i.e. approximately 60-feet*). Since this does not meet the requirements stipulated in the Unified Development Code (UDC), approval of a minor waiver is required. The Unified Development Code gives staff the ability to approve minor waivers administratively; however, staff felt it necessary to allow the Architectural Review Board (ARB) and the Planning and Zoning Commission to review the request and determine if approval of a minor waiver is necessitated.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, indicates that the subject property is located within the Downtown District and is designated for *Downtown (DT)* land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. It is expected that the Downtown District will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City to ensure that the district retains its small-town character. The *Downtown (DT)* land use designation should include a combination of land uses that are complementary to the existing development pattern and are intended to add the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. Primary land uses include office, retail restaurant, and residential land uses while secondary land uses include institutional and civic land uses. In this case, the proposed office building is considered to be a primary use within the Downtown District and appears to be in conformance with the policies and goals contained in the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On November 26, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant provide additional windows for balance, to provide primary entryways adjacent to W. Washington Street, to increase the smaller building to two (2) stories, to raise the parapet on the rear of the building, and to provide an updated rendering. The applicant has provided revised plans that appear to generally conform to these requests.

On December 30, the Architectural Review Board (ARB) was unable to make a quorum, and as a result, the proposed building elevations have not been reviewed. The Architectural Review Board (ARB) will review the proposed building elevations and forward a recommendation to the Planning and Zoning Commission at the meeting on January 14, 2020.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission choose to approve the applicant's request to, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: SP2025-004
PROJECT NAME: Amended Site Plan for 409 W. Washington Street
SITE ADDRESS/LOCATIONS: 409 W WASHINGTON ST
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/19/2025	Approved w/ Comments

02/19/2025: SP2025-004; Site Plan for 409 W. Washington Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Marlin Smith of Washington Place on Highway 66, LP for the approval of a Site Plan for an Office Building on a 0.99-acre parcel of land identified as Lot 4, Block A, Washington Place Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and addressed as 409 W. Washington Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-004) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 On January 14, 2020, the Planning and Zoning Commission approved a Site Plan [Case No. SP2019-044] for a three (3) story 14,789 SF office building on the subject property. The site plan approval was set to expire on January 14, 2022 in accordance with Subsection 03.05(A), Site Plan Expiration, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2020-010]. The Engineering Plans were approved on August 31, 2020, and were considered to be valid for a period of one (1) year. On June 23, 2021, the applicant submitted a building permit [Case No. COM2021-3194]; however, this permit expired due to inactivity on June 23, 2022.

M.5 Photometric Plan. Please provide a photometric plan that meets the requirements of the UDC. The allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) footcandle or 0.2 FC.

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on March 4, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Please note the scheduled meetings for this case:

(1) Planning & Zoning Work Session meeting will be held on February 25, 2025.

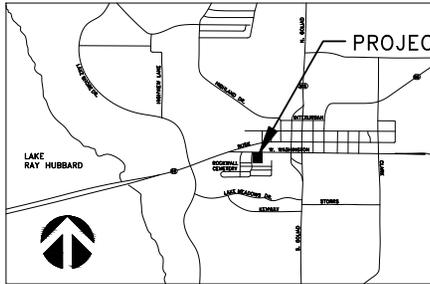
I.8 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved w/ Comments
02/21/2025: 1. Engineering plans will have to be reviewed.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/21/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved w/ Comments
02/18/2025: There are better varieties of turfgrass available now such as Tif Tuf, Latitude 36 or Tahoma 31 that are more shade, drought, wear and cold tolerant			

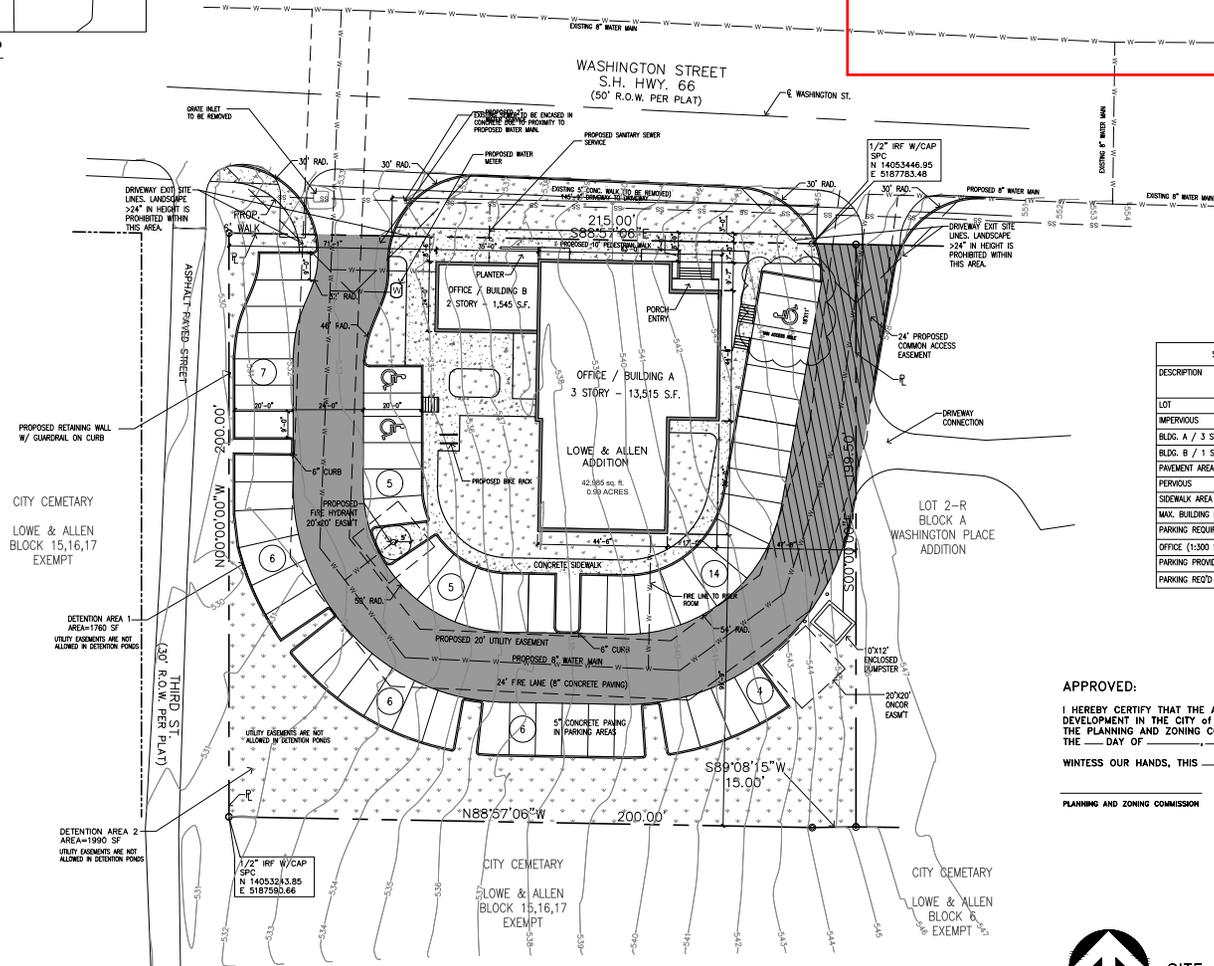
BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use

Engineering plans will have to be reviewed.



VICINITY MAP



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT	PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,453 S.F.	73.1%
BLDG. A / 3 STORY SURFACE AREA	4,929 S.F.	11.4%
BLDG. B / 1 STORY SURFACE AREA	840	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,532 S.F.	26.8 %
SIDEWALK AREA	4,635 S.F.	10.7 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	15,844 S.F.	
PARKING PROVIDED	53	
PARKING REQ'D	53	

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____

WITNESS OUR HANDS, THIS ____ DAY OF _____

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
LMGC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD, STE 201
ROCKWALL, TEXAS 75087



SITE PLAN
SCALE: 1"=20'
0 20' 40'



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 201
ROCKWALL, TEXAS 75087



DATE	DESCRIPTION
06/22/2021	REVISIONS
	DESCRIPTION
	REVISION TO CITY COMMENTS

PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/22/2021
SCALE	
SHEET NO.	of

DRAWING NAME:
SITE PLAN

S1.0

SP2019-044



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 409 W. WASHINGTON ST. ROCKWALL TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION BLOCK 14, LOWE & ALLEN ADDITION, VOL. K, PG. 242 MAP RECORDS OF ROCKWALL CO.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING DOWNTOWN -

CURRENT USE

UNDEVELOPED

PROPOSED ZONING

PROPOSED USE

OFFICE BUILDING

ACREAGE

0.99

LOTS [CURRENT]

ONE

LOTS [PROPOSED]

ONE

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Washington Place on Hwy. 66 LP

APPLICANT

CONTACT PERSON Marlin Smith

CONTACT PERSON

ADDRESS 5196 Hwy 276 W

ADDRESS

Suite B27

CITY, STATE & ZIP Roysce City, TX 75189

CITY, STATE & ZIP

PHONE 972-922-6369

PHONE

E-MAIL smith.marlin@pm.me

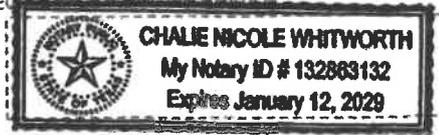
E-MAIL

NOTARY VERIFICATION [REQUIRED]

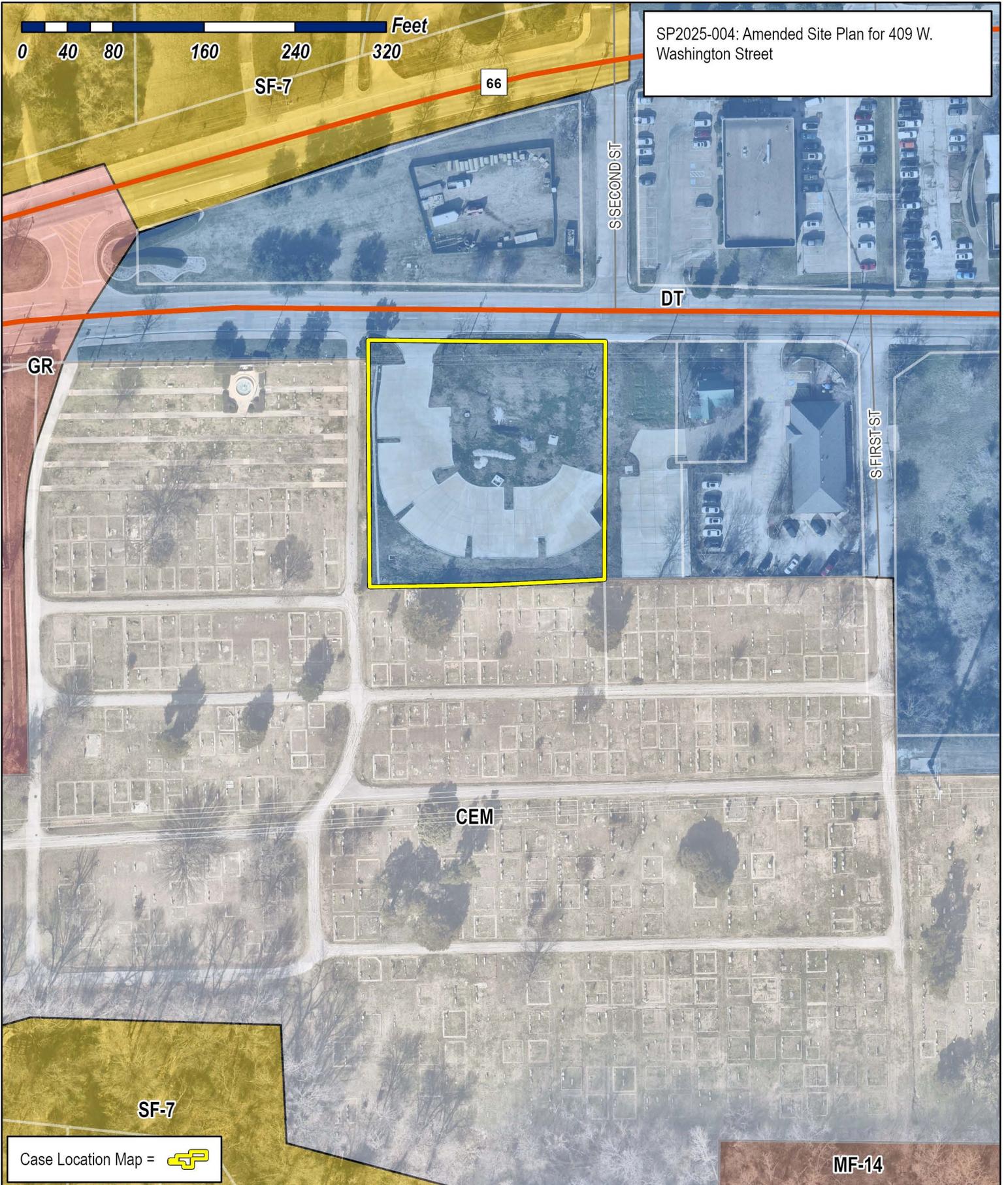
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Marlin Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF February 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF Feb 2025
OWNER'S SIGNATURE Marlin R. Smith



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Chalie N Whitworth MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



BUILDERS COPY

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For Inspection Use



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



DATE	DESCRIPTION
06/22/2021	REVISIONS
	DESCRIPTION
	REVISION TO CITY COMMENTS

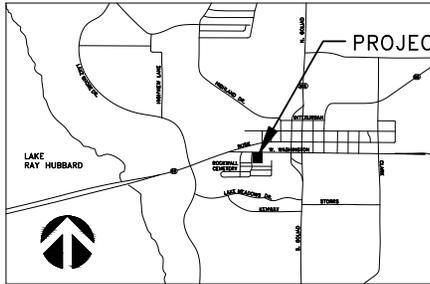
PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	06/22/2021
SCALE	
SHEET NO.	of

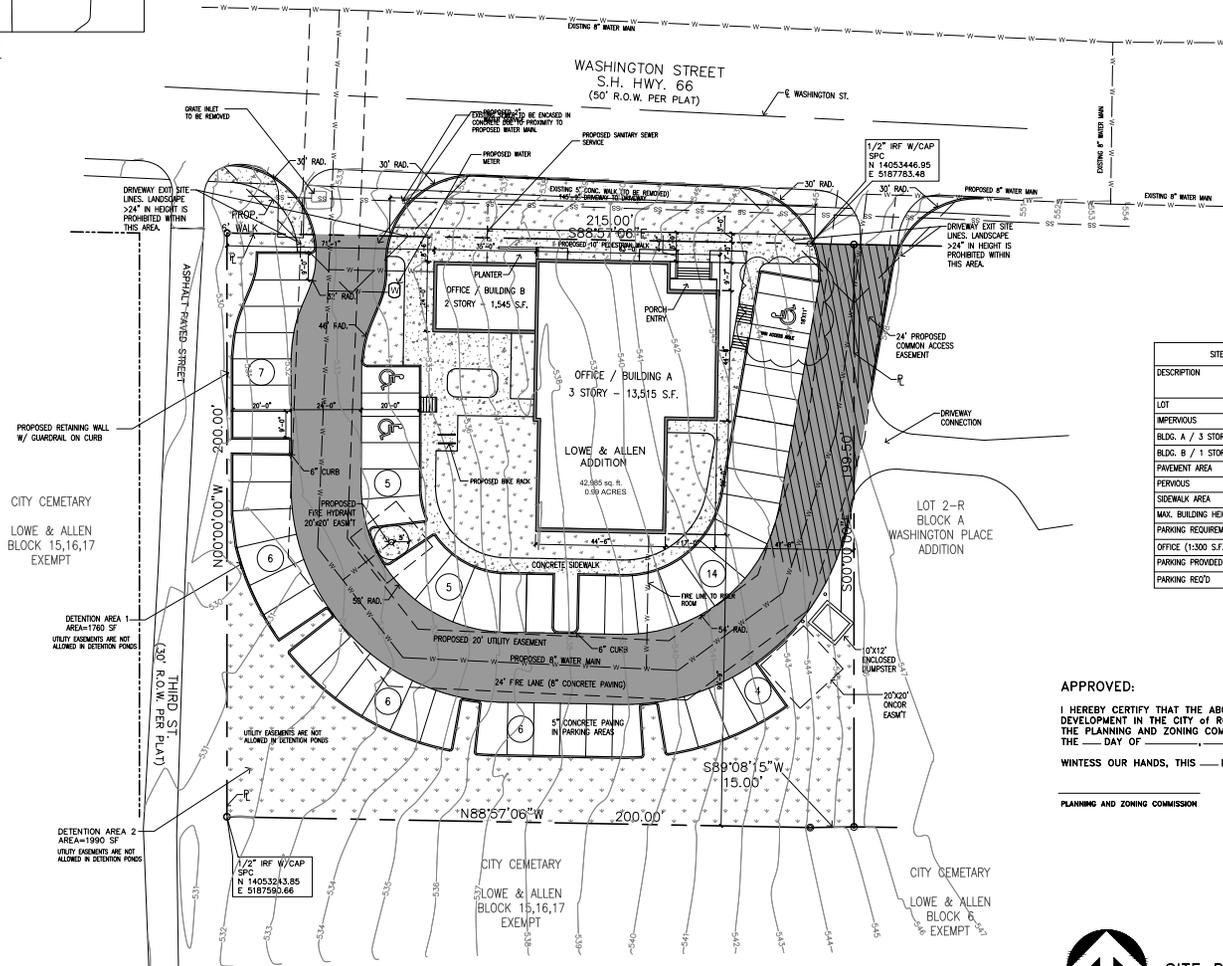
DRAWING NAME:
SITE PLAN

S1.0

SP2019-044



VICINITY MAP



SITE SUMMARY - COMMERCIAL ZONING

DESCRIPTION	LOT	PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,453 S.F.	73.1%
BLDG. A / 3 STORY SURFACE AREA	4,929 S.F.	11.4%
BLDG. B / 1 STORY SURFACE AREA	840	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,532 S.F.	26.8 %
SIDEWALK AREA	4,635 S.F.	10.7 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	15,844 S.F.	
PARKING PROVIDED	53	
PARKING REQ'D	53	

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____,

WITNESS OUR HANDS, THIS ____ DAY OF _____

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING



SITE PLAN
SCALE: 1"=20'
0 20' 40'

OWNER/DEVELOPER:
LMGC, LLC
JIMMY MCCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT

2535 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REV	DATE	DESCRIPTION
1	06/22/2021	ISSUED FOR PERMITS

PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	---
DRAWN BY	---
CHECKED BY	---
DATE	06/22/2021
SCALE	---
SHEET NO.	of

DRAWING NAME:
ELEVATION NORTH & SOUTH

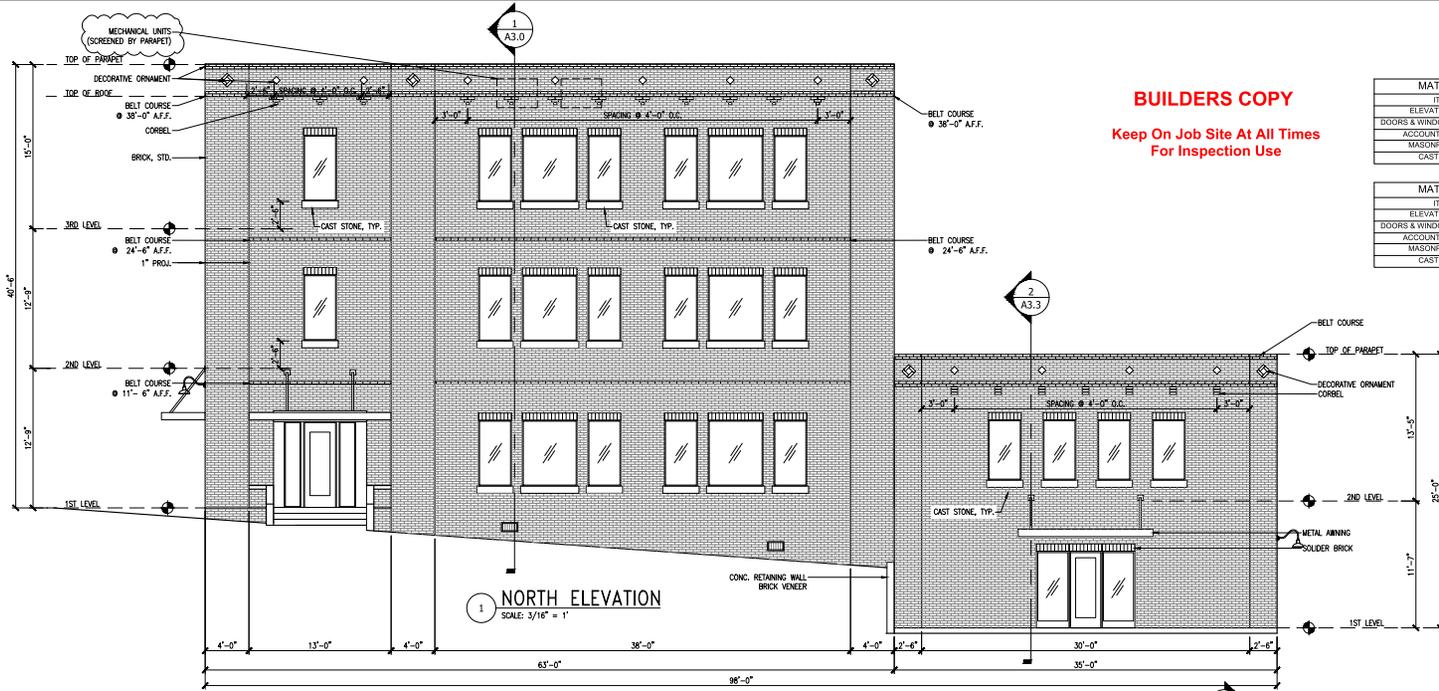
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SP2019-044

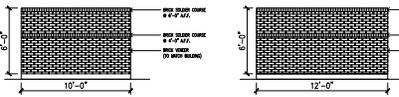
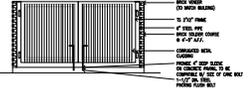
BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,743	
DOORS & WINDOWS (DEDUCTED)		488	
ACCOUNTABLE AREA		2,255	100%
MASONRY - BRICK		2,178	96%
CAST STONE		77	4%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		893	
DOORS & WINDOWS (DEDUCTED)		127	
ACCOUNTABLE AREA		766	100%
MASONRY - BRICK		740	96%
CAST STONE		26	4%



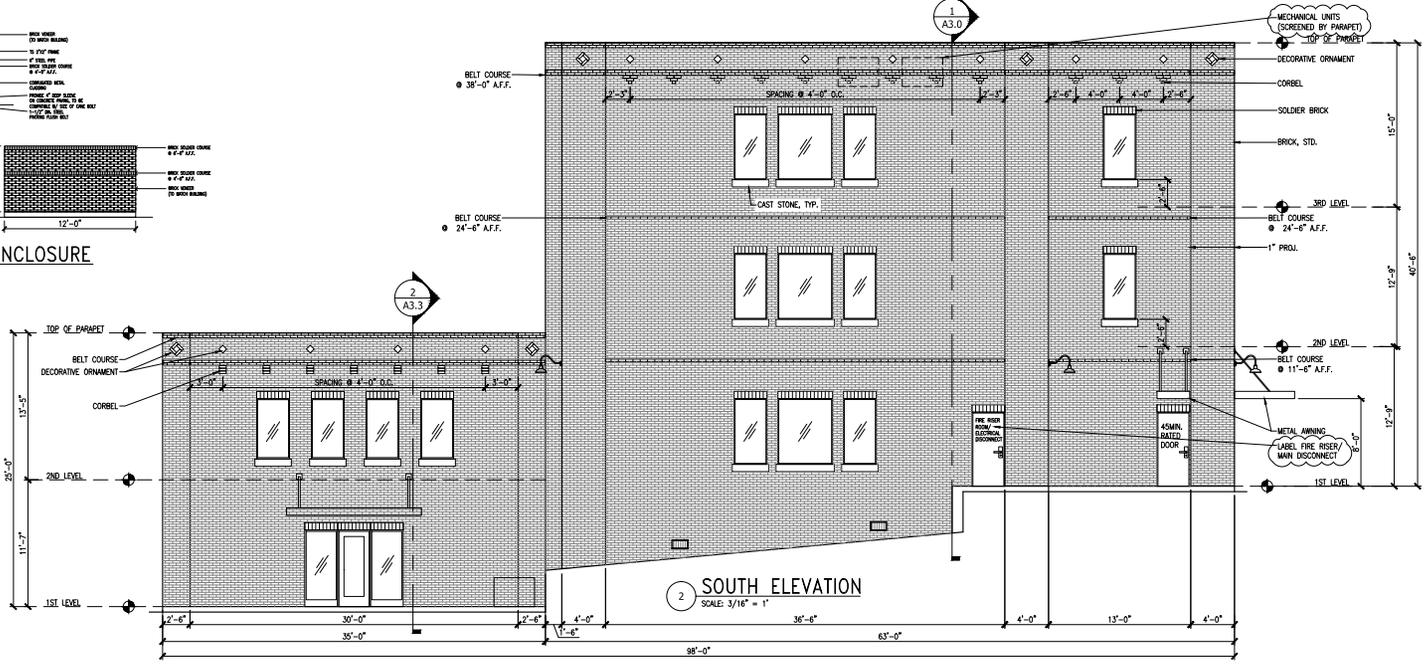
1 NORTH ELEVATION
SCALE: 3/16" = 1"



1 DUMPSTER ENCLOSURE
SCALE: 3/16" = 1"

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,804	
DOORS & WINDOWS (DEDUCTED)		233	
ACCOUNTABLE AREA		2,567	100%
MASONRY - BRICK		1,770	97%
CAST STONE		77	3%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		803	
DOORS & WINDOWS (DEDUCTED)		107	
ACCOUNTABLE AREA		796	100%
MASONRY - BRICK		758	96%
CAST STONE		38	4%



2 SOUTH ELEVATION
SCALE: 3/16" = 1"



ARCHITECTONICS TEXAS, LLC
 ARCHITECTURE - MANAGEMENT
 2233 RIDGE RD. STE. 200
 ROCKWALL, TEXAS 75087



DATE	10/17/2021
REVISIONS	
DESCRIPTION	
RESPONSE TO CITY COMMENTS	
NO.	
DATE	

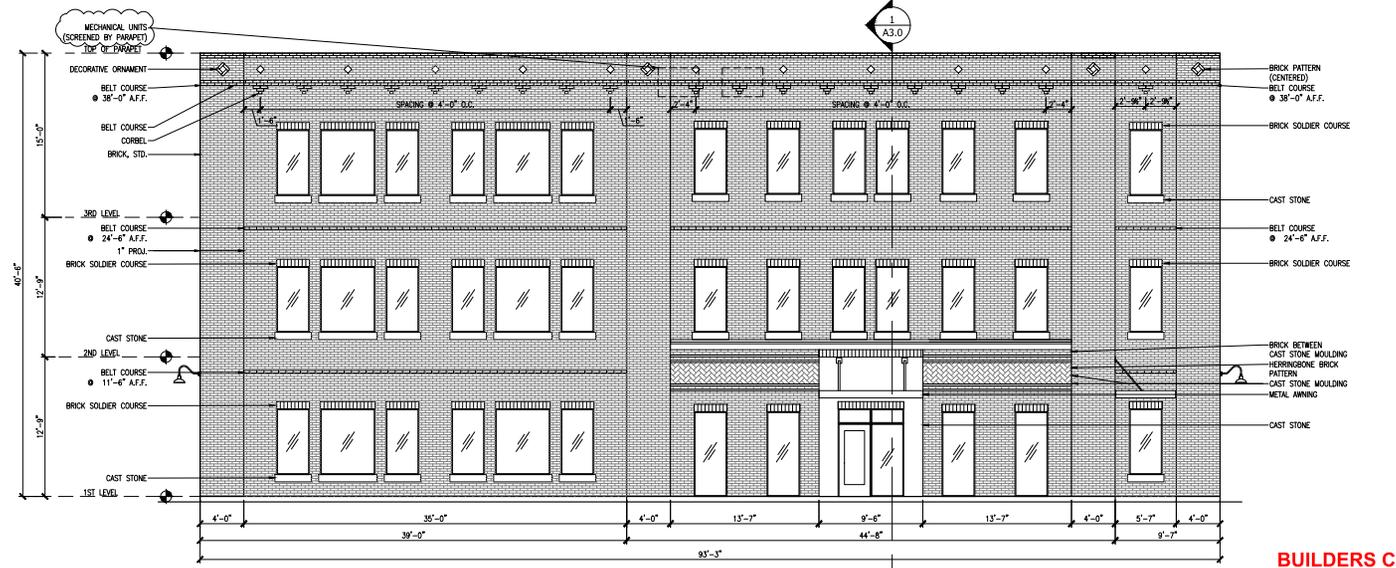
PROJECT NAME AND ADDRESS:
BUSINESS PARK
 409 W. WASHINGTON
 ROCKWALL, TEXAS 75087

PROJECT No.	----
DRAWN BY	
CHECKED BY	
DATE	06/22/2021
SCALE	
SHEET NO.	of

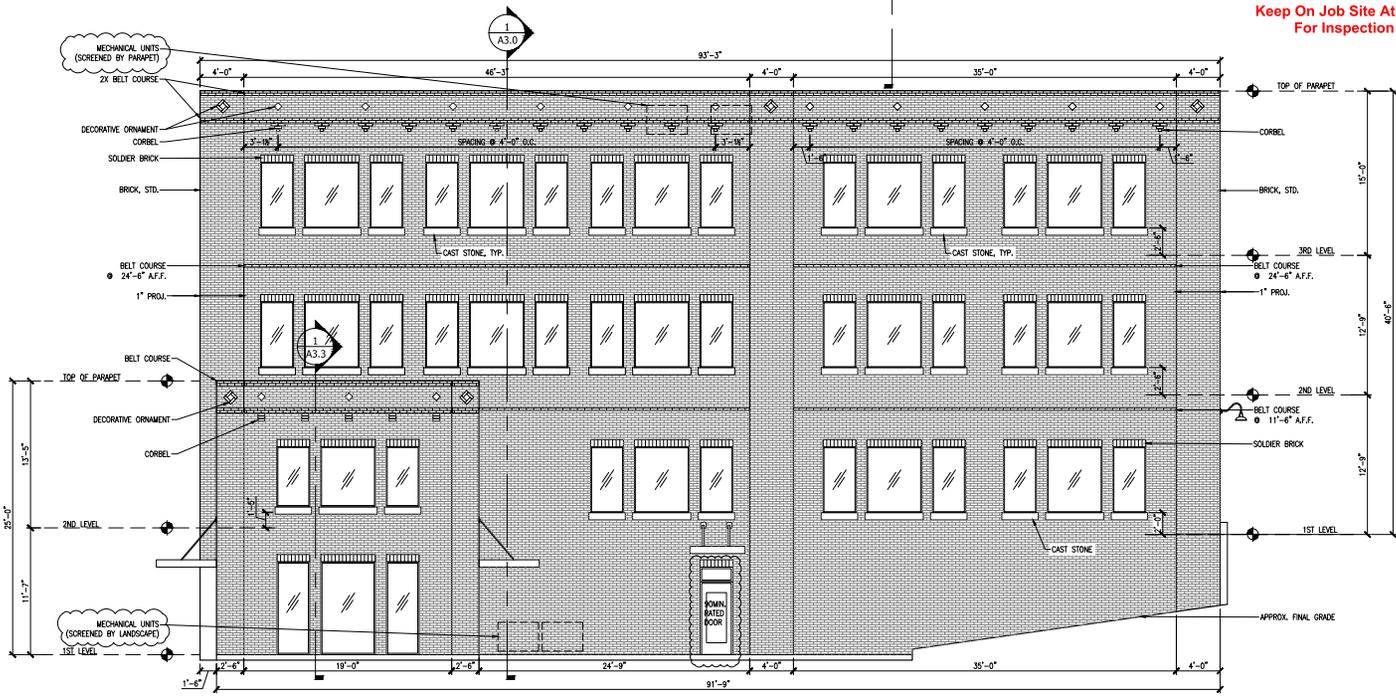
DRAWING NAME:
ELEVATION EAST & WEST

A2.1

SP2019-044



BUILDERS COPY
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 For Inspection Use



MATERIAL USAGE (%) - BLDG 'A' EAST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		3,810	
DOORS & WINDOWS (DEDUCTED)		960	
ACCOUNTABLE AREA		3,150	100%
MASONRY		3,080	97%
CAST STONE		70	3%

MATERIAL USAGE (%) - BLDG 'A' WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		4,176	
DOORS & WINDOWS (DEDUCTED)		353	
ACCOUNTABLE AREA		3,323	100%
MASONRY		3,219	97%
CAST STONE		104	3%

MATERIAL USAGE (%) - BLDG 'B' WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		904	
DOORS & WINDOWS (DEDUCTED)		136	
ACCOUNTABLE AREA		468	100%
MASONRY		460	99%
CAST STONE		8	1%

TREES TO BE PRESERVED

TREES TO BE REMOVED

TREE REMOVAL SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	TYPE	TRUNK	CALIPER	MITIGATION RATIO	ADJUSTED	RESULT
A	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	7"	1.1	7"	REMOVE
B	Cela occidentalis	Hackberry	FEATURE	STANDARD	34"	1.05	21"	REMOVE
C	Quercus virginiana	Live Oak	PROTECTED	STANDARD	12"	1.1	12"	REMOVE
D	Cela occidentalis	Hackberry	SECONDARY	STANDARD	12"	1.05	6"	REMOVE
E	Cela occidentalis	Hackberry	SECONDARY	STANDARD	25"	1.05	15"	REMOVE
F	Carya texana	Black Hickory	PROTECTED	STANDARD	7"	1.1	7"	REMOVE
G	Lagerstroemia indica	Crape Myrtle	PROTECTED	MULTI	6"	1.1	6"	REMOVE
H	Ulmus americana	American Elm	PROTECTED	STANDARD	7"	1.1	7"	REMOVE
I	Fraxinus texensis	Texas Ash	FEATURE	STANDARD	34"	1.2	66"	REMOVE
J	Cela occidentalis	Hackberry	SECONDARY	STANDARD	15"	1.05	8"	REMOVE
K	Carya floridensis	Pecan	DISEASED	STANDARD	28"	1.0	0"	REMOVE
L	Quercus macrocarpa	Burr Oak	PROTECTED	STANDARD	6"	1.1	6"	REMOVE

TOTAL CALIPER INCHES OF TREES TO BE REMOVED: 158'

158 x 20% = 31.6' - 12" minimum to be planted as mitigation

A diseased arborvitae has been determined that tree 'L' is diseased and should be removed to prevent property damage

The intent of this drawing is to show existing trees to be preserved or removed in order to develop the proposed project. Property owner will be responsible for any fees or penalties of the City of Rockwall. Demolition contractor is responsible for ensuring all required permits and paperwork from the City of Rockwall are in place before beginning demolition.

Refer to The City of Rockwall - Article IX - TREE PRESERVATION

also The City of Rockwall - Article VIII - LANDSCAPE STANDARDS

THERE ARE THREE EXISTING FEATURE TREES ON THIS SITE (ie: 25" caliper or more of the protected species) THESE TREES ARE TO BE REMOVED.

NOTE: ALL BOUNDARY TREES ALONG THE SOUTH PROPERTY LINE ARE TO REMAIN. PROTECT ANY TREES THAT ARE CLOSE PROXIMITY TO GRADING OR CONSTRUCTION ACTIVITIES.

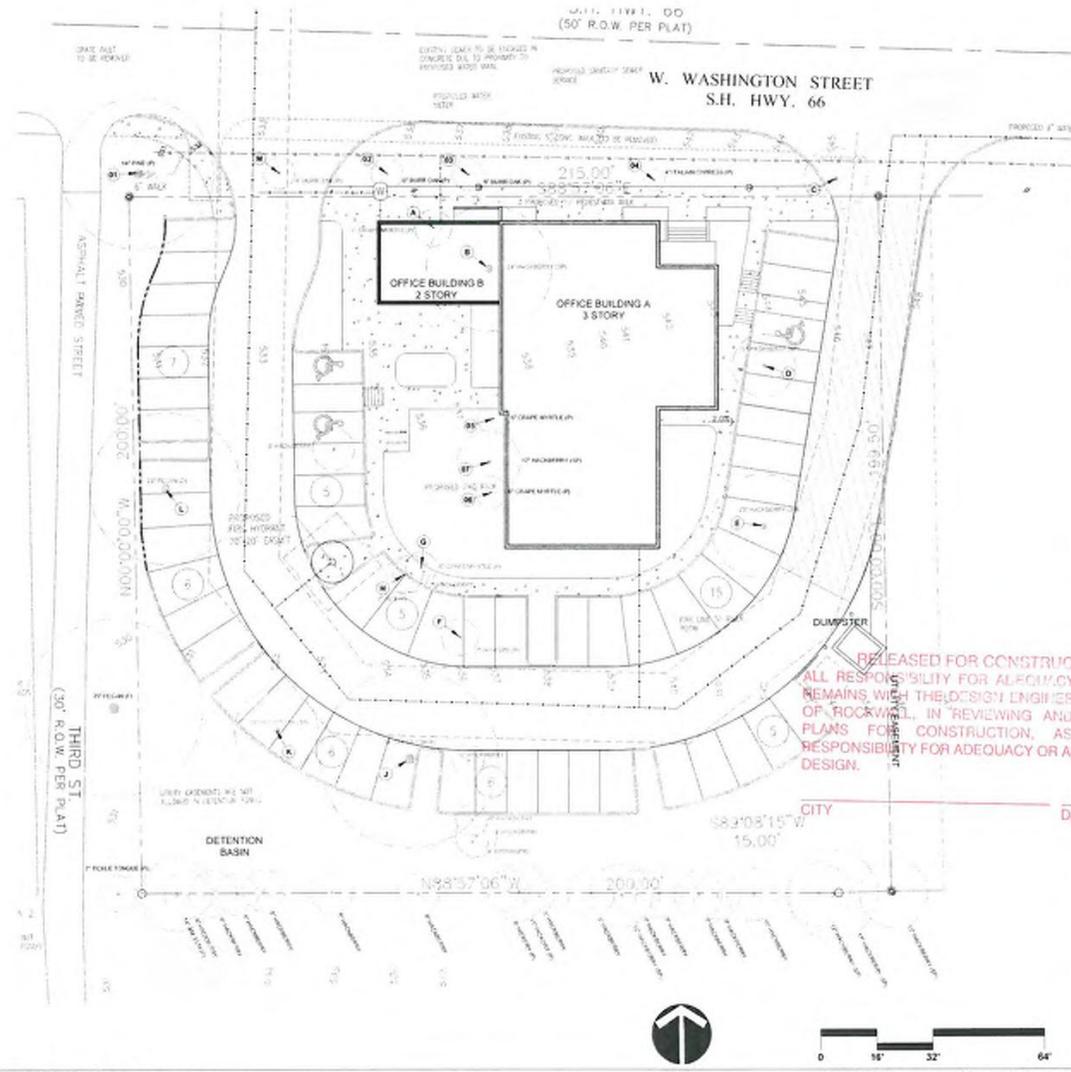
SECTION 5 - TREE MITIGATION REQUIREMENTS

The tree mitigation requirements shall apply to all properties that do not fall under the exemptions listed in section 1.3. Exemptions of this article. In addition, if a mitigation plan is not submitted, the applicant shall be responsible for the removal of a protected or feature tree. The applicant and/or property owner shall account for the number of inches of tree being removed using the following criteria:

- Primary protected trees: Primary protected trees measuring four inches through 25 inches DBH shall be replaced on an inch-for-inch basis (i.e. the total number of caliper inches of tree being replaced shall equal the total number of caliper inches being removed).
- Secondary protected trees: Hackberry and cedar trees measuring 11 inches through 25 inches DBH shall be replaced with a half-inch for every inch removed (i.e. the total number of caliper inches of tree required to be replaced shall be half (50%) of the inches being removed).
- Featured trees: Featured trees (i.e. all trees greater than 25 inches) shall be replaced with twice the number of inches being removed (i.e. the total number of caliper inches of tree being replaced shall be twice the number of caliper inches being removed).
- Non-protected tree: No mitigation will be required for the removal of any tree that is less than four inches DBH or less than 11 inches DBH for hackberry and cedar trees. In addition, no mitigation shall be required for the removal of Bos. A.C. white, cottonwood, sycamore and Chinquapin trees.
- Tree preservation credits: For each street oak, pecan or elm tree 25 inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20 percent of the total mitigation balance (i.e. total mitigation balance + 20 percent = Total eligible tree preservation credits).
- Mitigation balance: The total mitigation balance (i.e. mitigation balance + tree preservation credits + total mitigation balance) may be calculated through one or a combination of the following:
 - The development property owner can provide the required number of trees three-inch caliper DBH minimum on the subject property to offset the total mitigation balance (i.e. if the total mitigation balance is nine inches then three three-inch caliper trees could be planted on site to satisfy the mitigation requirements).
 - The development property owner may petition the parks and recreation department to accept the required number of trees three-inch caliper DBH minimum to offset the total mitigation balance (i.e. if the total mitigation balance is nine inches then three three-inch caliper trees could be submitted to the parks and recreation department to satisfy the mitigation requirements). Depending on the number of trees being submitted the director of parks and recreation or his/her designee could require a facilities agreement be signed prior to accepting the trees.
 - Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches (i.e. if total mitigation required was 100 inches the development property owner could pay a total of \$4,000.00 (i.e. (20% + 100) = \$200.00 = \$4,000.00) into the city's tree fund. However, the development property owner would still be required to satisfy a remaining tree mitigation balance of 80 inches). In addition, if the development property owner plants a tree on (1) the property for which the tree preservation credit was assessed or (2) a location that is mutually agreed upon by the city and the development property owner, the development property owner shall be eligible for a reduction in the total of tree preservation credits of up to 50 percent. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way or other similar areas as determined by the parks and recreation department.
 - Trees removed by article 10B, landscape standards, of the Unified Development Code shall be permitted to be subtracted from the total mitigation balance if located on the site as part of the required landscaping.
- Alternative tree mitigation landowner agreements: In certain cases, the city council upon recommendation from the planning and zoning commission may consider an alternative tree mitigation landowner agreement which, at its discretion, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be deposited in the city's tree mitigation fund and will be used for planting trees in the city's parks, medians, street rights-of-way, or other similar areas as determined by the parks and recreation department.

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : 3)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)



RELEASED FOR CONSTRUCTION
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER,
CITY OF ROCKWALL, IN REVIEWING AND REVISIONS
PLANS FOR CONSTRUCTION, ASSUMING
RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF
DESIGN.

409 W WASHINGTON
LANDSCAPE PLANS

MAYER
Landscape Architecture
TX #262511 #53

2617 Jaramore Lane
Rockwall, TX 75087
972.982.2025
mayer@mayerdesignstudio.com



NO.	DATE	BY	REVISION

TREESCAPE PLAN

DATE: _____

BY: _____

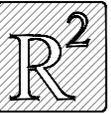
PROJECT: BUSINESS PARK
409 W WASHINGTON ST
ROCKWALL, TX 75087

19-20-03
MAY 28, 2020

L1.1

B SCHEDULE AND NOTES

A TREESCAPE PLAN



R Squared Consulting Engineers, Inc.



Richard L. Herlihy

Firm Registration: F-15033
4720 Worchester Lane
McKinney, Texas 75070
972-814-5057, 214-648-5118
© COPYRIGHT 2021

CONSULTANTS

409 Washington

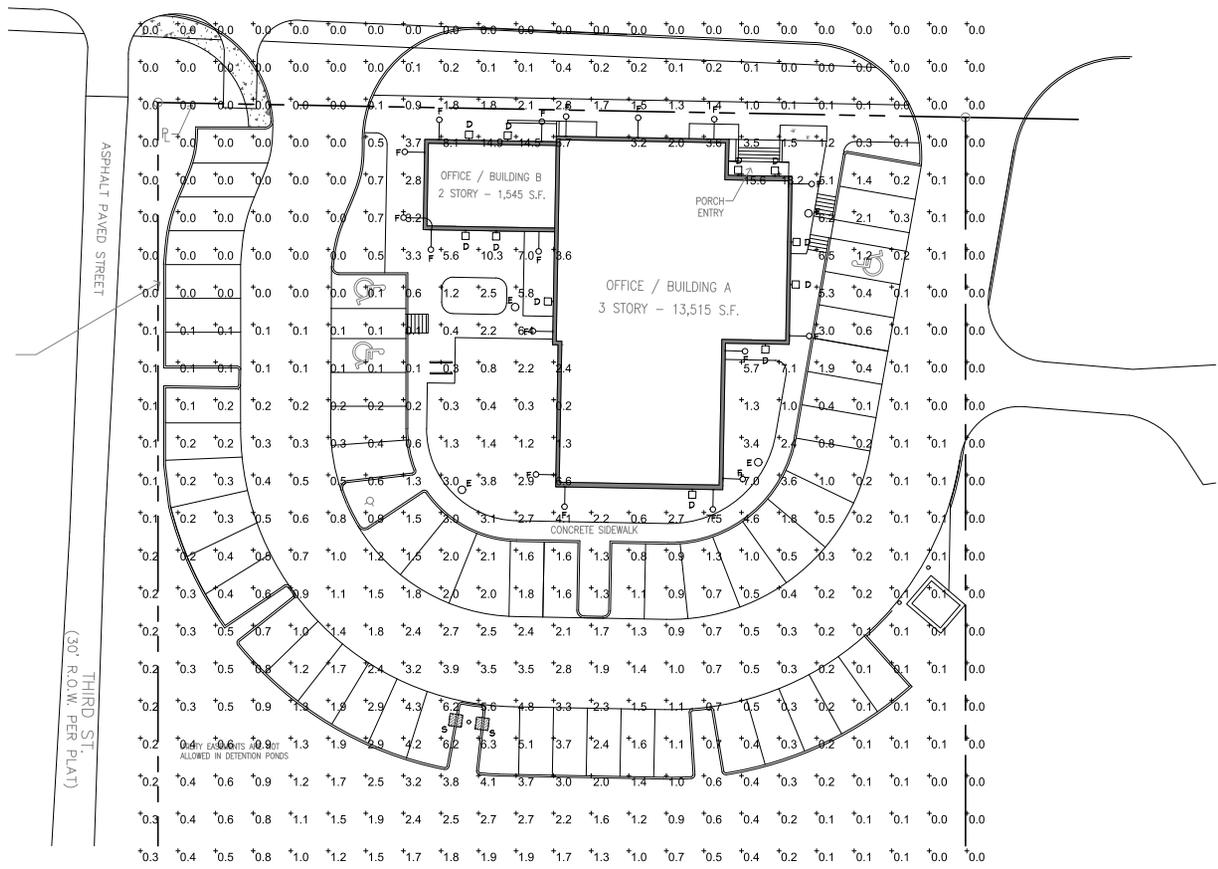
MARK	DATE	DESCRIPTION
ISSUE:	04/23/2022	
PROJECT NO:	1803	
FILE:	Photometric Plan.dwg	
DRAWN BY:	RL	
CHECKED BY:	RL	

SHEET TITLE

PHOTOMETRIC PLAN

E2.5

WASHINGTON STREET
S.H. HWY. 66
(50' R.O.W. PER PLAT)



01 PHOTOMETRIC SITE PLAN
SCALE: 1/8"=1'-0"

BUILDERS COPY
Keep On Job Site At All Times
For Inspection Use

PLANT SCHEDULE SITE SCREENING

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ao	Acer rubrum 'October Glory' / October Glory Red Maple 4" cal.	B & B	4 16"
	Cl	Chilopsis linearis 'Lucretia Hamilton' / Desert Willow 3" cal.	B & B	5 15"
	Cp	Cornus florida 'Cherokee Princess' / White Dogwood 3" cal.	B & B	2 6"
	Mdd	Magnolia grandiflora 'D.D. Blanchard' / Dwarf Magnolia 3" cal.	45 gal	2 6"
	Pe	Pinus ularica / Afghan Pine 6" cal.	B & B	2 12"
	Om	Quercus macrocarpa / Burr Oak 6" cal.	B & B	2 12"
	Qv	Quercus virginiana / Southern Live Oak 6" cal.	B & B	2 12"
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	3 6"
	Ul	Ulmus parviflora / Chinese Lacebark Elm 3" cal.	B & B	4 12"
	Vc	Vitex agnus-castus / Chaste Tree 3" cal.	B & B	10 127"
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Hp	Hesperaloe parviflora / Red Yucca	3 gal	8
	Lm	Lantana montevidensis 'New Gold' / Gold Lantana	3 gal	3
	Lg	Leucophyllum frutescens 'Green Cloud' TM / Texas Ranger	5 gal	12
	Ls	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	5 gal	30
	Lp	Loropetalum chinense 'Purple Diamond' / Fringe Flower	3 gal	21
	Msc	Mahonia 'Soft Caress' / Soft Caress Mahonia	3 gal	7
	Ma	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass	3 gal	6
	Ptv	Pittosporum tobira 'Variegata' / Variegated Mock Orange	5 gal	15
	Ptw	Pittosporum tobira 'Wheeler's Dwarf' / Dwarf Pittosporum	3 gal	5
	Rop	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary	3 gal	7
	Sg	Salvia greggii 'Pink' / Pink Autumn Sage	3 gal	6
	Yp	Yucca pendula / Soft Leaf Yucca	5 gal	2
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Af	Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave	5 gal	3
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ch	Cynodon dactylon '419 Hybrid' / Bermuda Grass	sod	2,245 sf

REQUIRED PLANTINGS

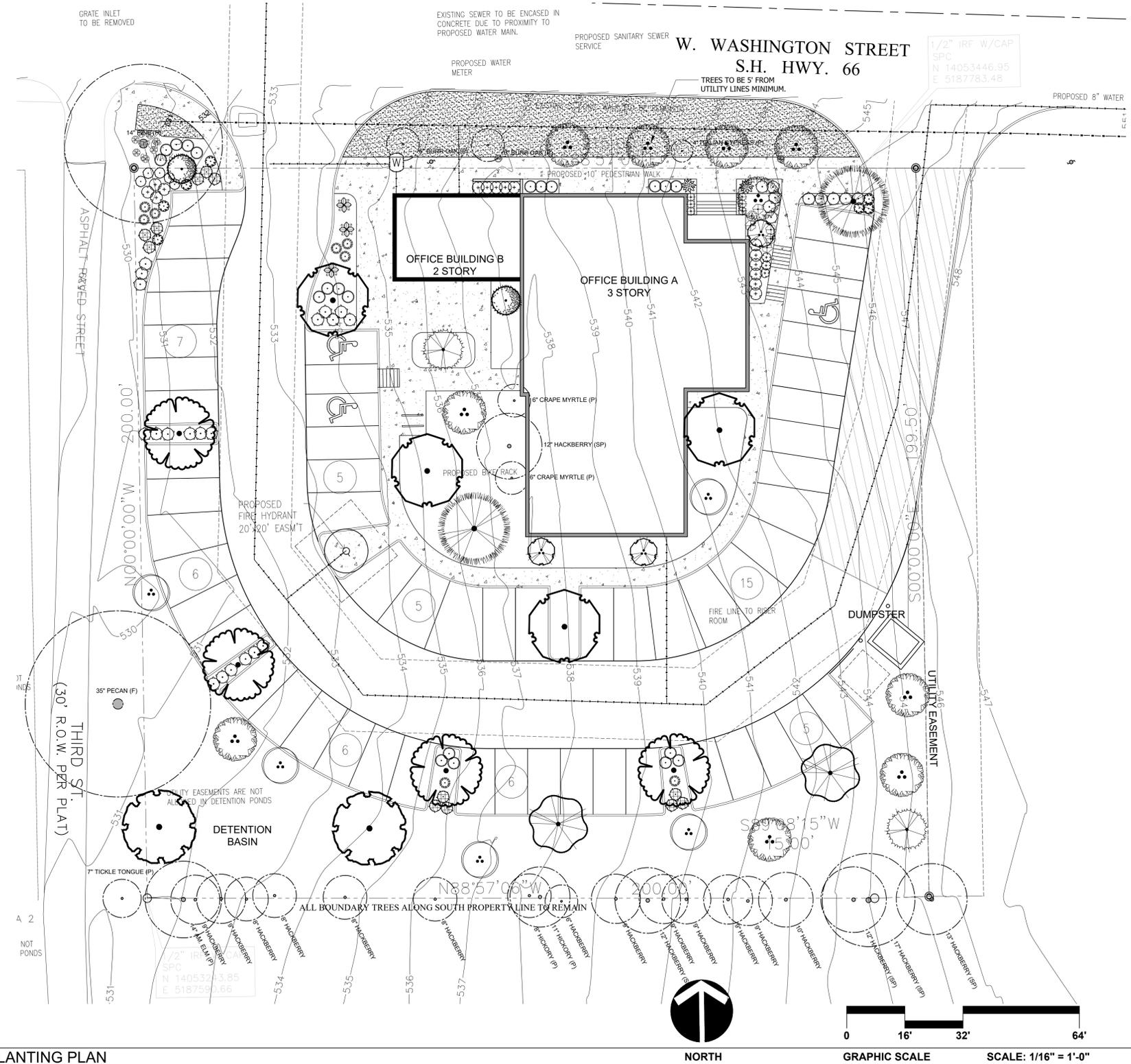
A. STREET TREES:
1 TREE FOR EVERY 50 L.F. OF FRONTAGE W Washington Street - 215 / 50 = 4.3
4 TREES REQUIRED
(6) 3" TREES PROVIDED
(1) 6" TREE PROVIDED

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 12 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF HOUSTON STANDARD IRRIGATION REQUIREMENTS.

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(1 : .5)
F	FEATURE TREE	(1 : 2)
D	DISEASED TREE PER ARBORIST	(1 : 0)

SITE SUMMARY		
DESCRIPTION	AMOUNT	LOT PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,708 S.F.	73.8%
BLDG. A / 3 STORY SURFACE AREA	4,962 S.F.	11.5%
BLDG. B / 1 STORY SURFACE AREA	808 S.F.	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,277 S.F.	26.2 %
SIDEWALK AREA	4,889 S.F.	11.4 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,502 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	



Landscape Architecture
 TX #5629 NV #583
MAYER
 Design Studio
 2617 Jasmine Lane
 Plano, TX 75074
 Phone (702) 339-0825
 voice (702) 339-0825
 mike@mayerdesignstudio.com



REVISIONS	DATE	BY

PLANTING PLAN

JOB:
BUSINESS PARK
 409 W WASHINGTON ST
 ROCKWALL, TX 75087

19-20-03
 DATE
JANUARY 7, 2020



RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISIONS	DESCRIPTIONS/ISSUE

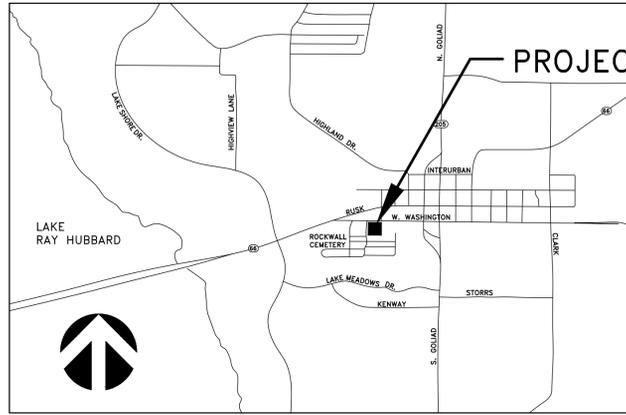
PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	1" = 20'
SHEET NO.	of

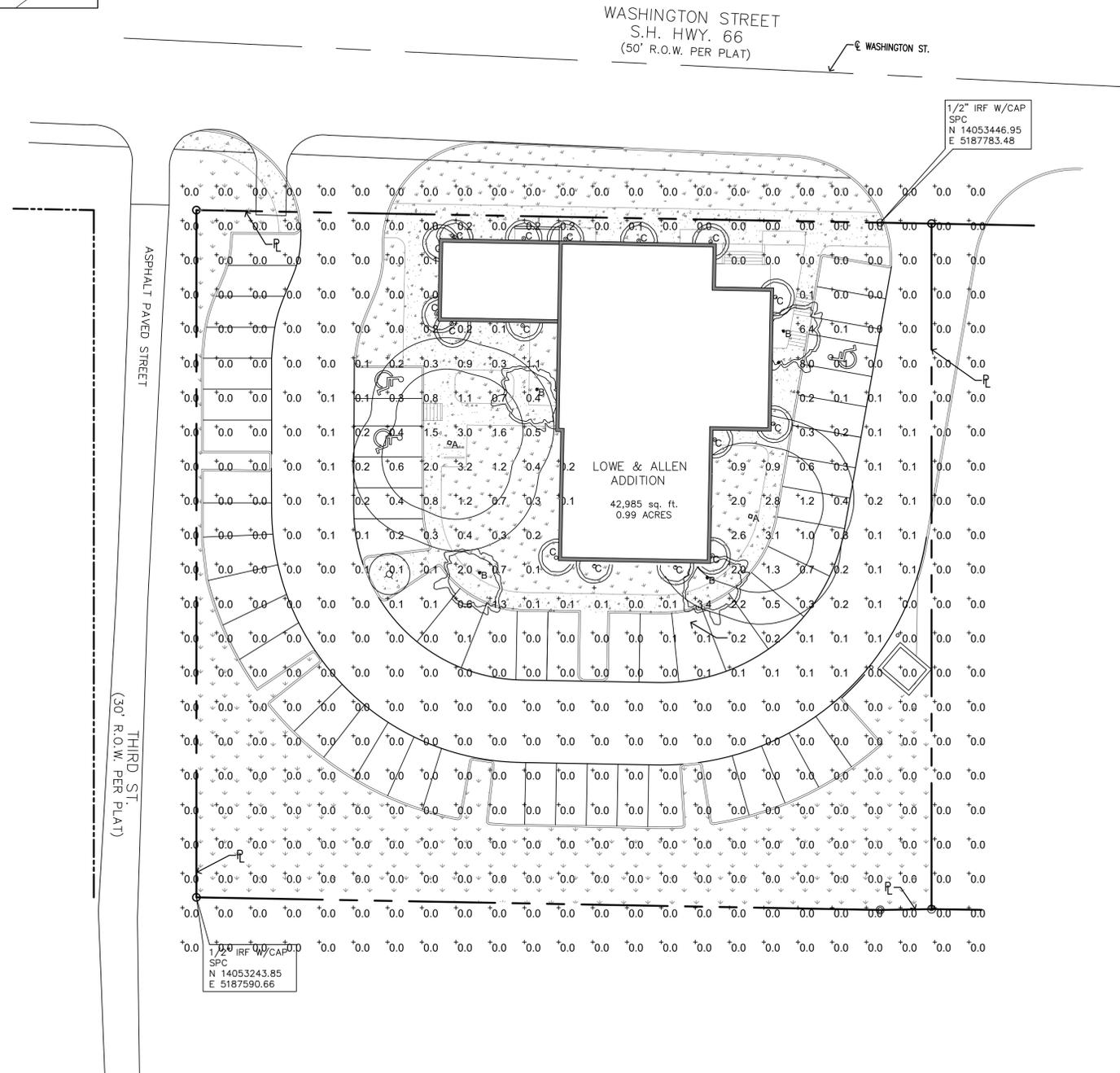
DRAWING NAME:
PHOTOMETRIC SITE PLAN

E1

SP2019-044



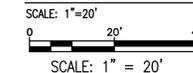
VICINITY MAP



SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
LOT	42,985 S.F.	100 %
IMPERVIOUS	31,453 S.F.	73.1%
BLDG. A / 3 STORY SURFACE AREA	4,929 S.F.	11.4%
BLDG. B / 1 STORY SURFACE AREA	840	1.9%
PAVEMENT AREA	21,049 S.F.	48.9 %
PERVIOUS	11,532 S.F.	26.8 %
SIDEWALK AREA	4,635 S.F.	10.7 %
MAX. BUILDING HEIGHT PROPOSED	40 FT 6 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,469 S.F.	
PARKING PROVIDED	55	
PARKING REQ'D	55	



PHOTOMETRIC SITE PLAN



OWNER/DEVELOPER:
LMGC, LLC
JIMMY McCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

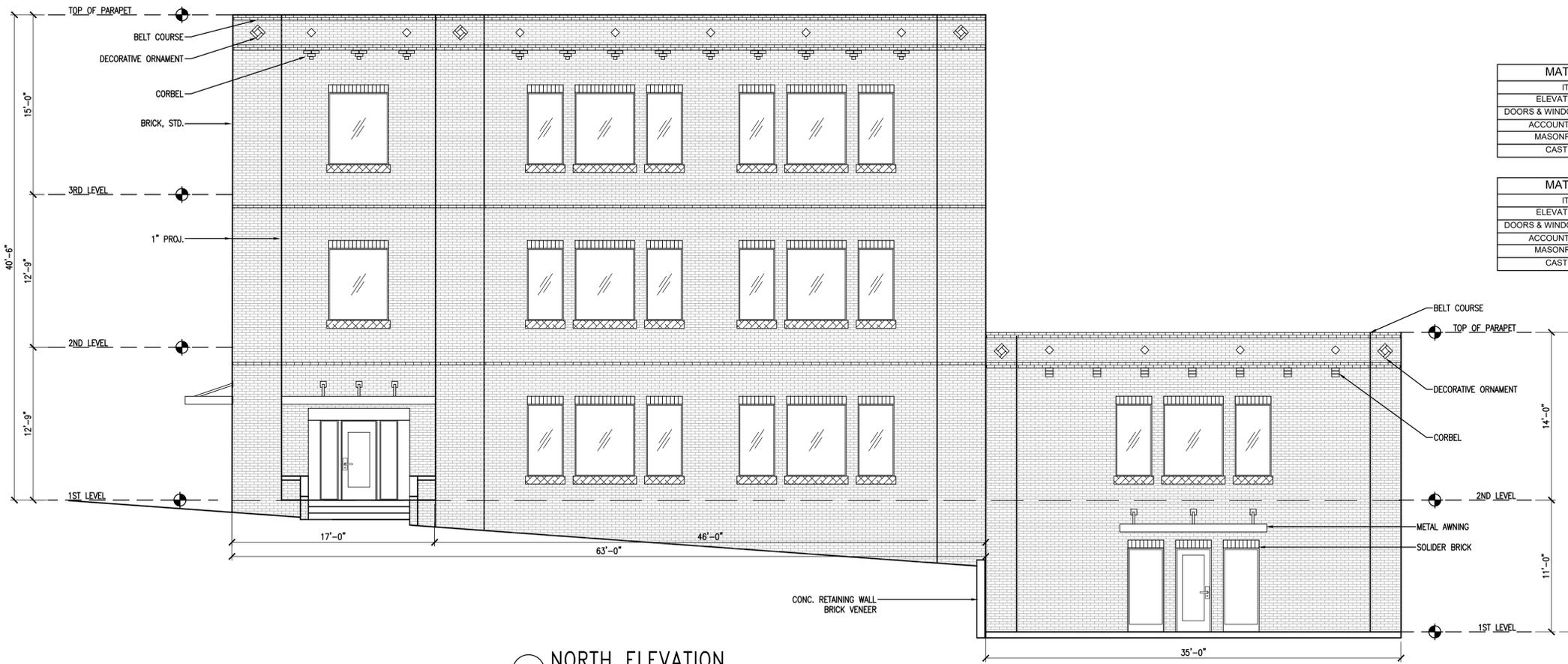
PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	----
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	3/16" = 1'
SHEET NO.	of

DRAWING NAME:
**ELEVATION
NORTH & SOUTH**

A-201

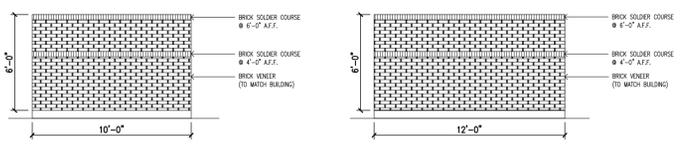
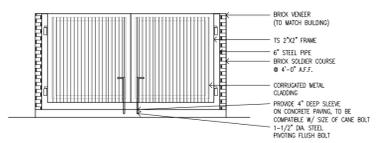
SP2019-044



ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,743	
DOORS & WINDOWS (DEDUCTED)		488	
ACCOUNTABLE AREA		2,255	100%
MASONRY - BRICK		2,178	96%
CAST STONE		77	4%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		893	
DOORS & WINDOWS (DEDUCTED)		127	
ACCOUNTABLE AREA		766	100%
MASONRY - BRICK		740	96%
CAST STONE		26	4%

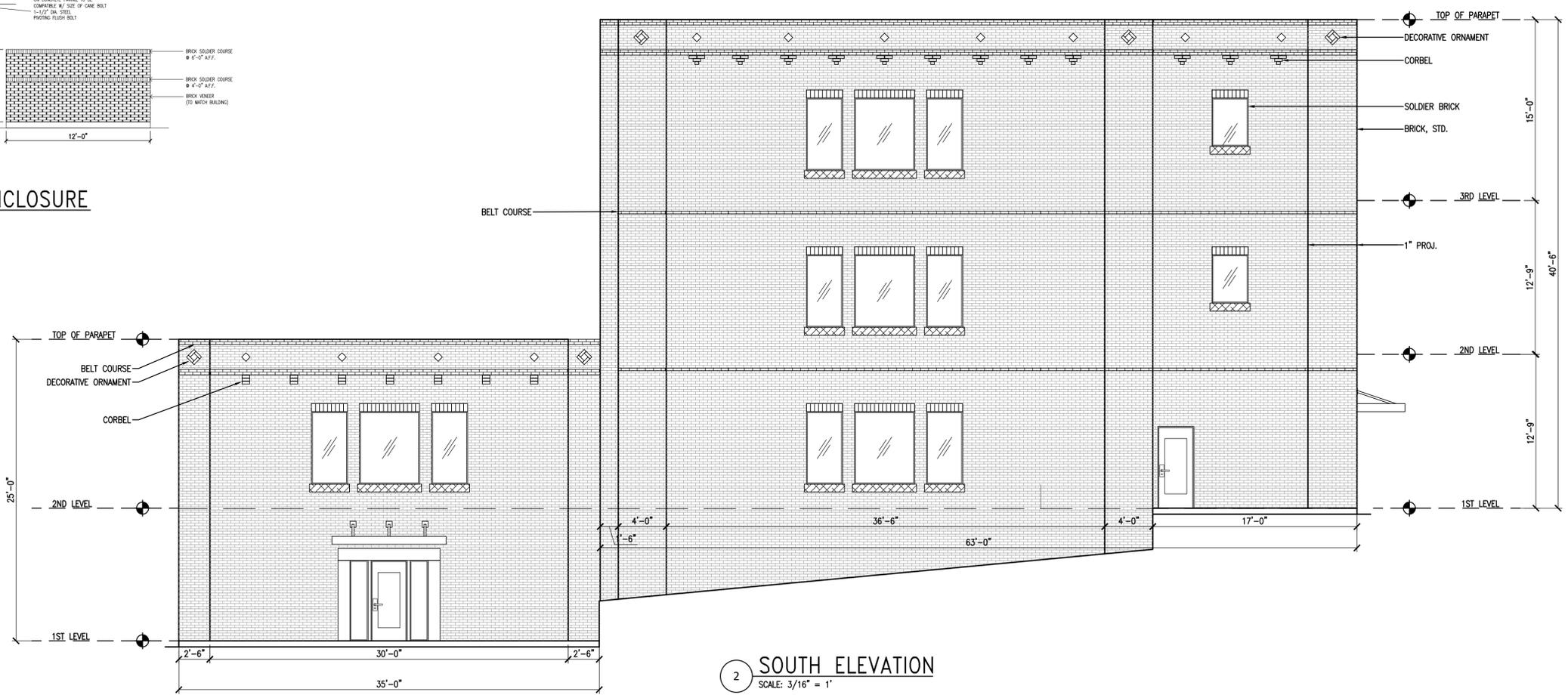
1 NORTH ELEVATION
SCALE: 3/16" = 1'



1 DUMPSTER ENCLOSURE
SCALE: 3/16" = 1'

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,804	
DOORS & WINDOWS (DEDUCTED)		237	
ACCOUNTABLE AREA		2,567	100%
MASONRY - BRICK		1,770	97%
CAST STONE		77	3%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		893	
DOORS & WINDOWS (DEDUCTED)		107	
ACCOUNTABLE AREA		786	100%
MASONRY - BRICK		756	96%
CAST STONE		30	4%



2 SOUTH ELEVATION
SCALE: 3/16" = 1'



RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISIONS / DESCRIPTIONS / ISSUE

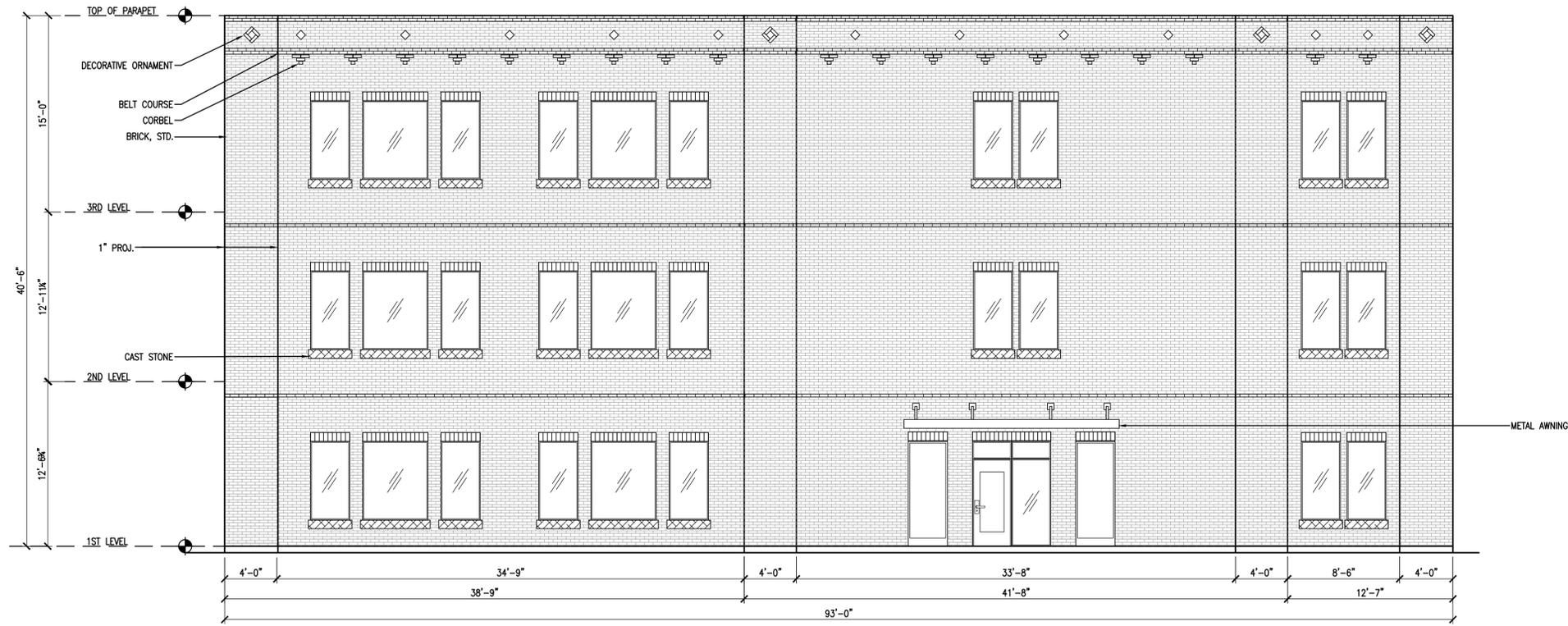
PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	----
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	3/16" = 1'
SHEET NO.	of

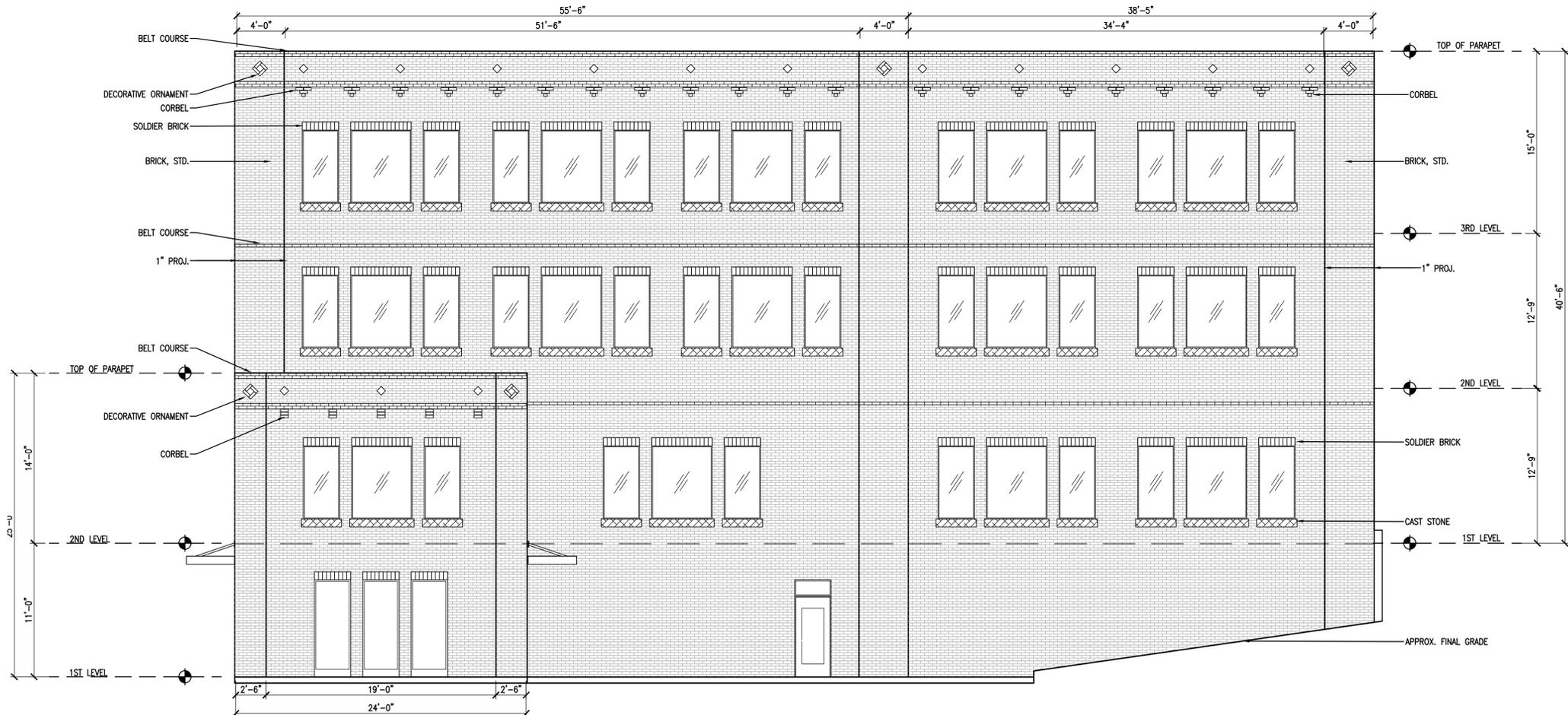
DRAWING NAME:
**ELEVATION
EAST & WEST**

A-202

SP2019-044



1 EAST ELEVATION
SCALE: 3/16" = 1'



2 WEST ELEVATION
SCALE: 3/16" = 1'

MATERIAL USAGE (%) - BLDG 'A' EAST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		3,810	
DOORS & WINDOWS (DEDUCTED)		660	
ACCOUNTABLE AREA		3,150	100%
MASONRY		3,080	97%
CAST STONE		70	3%

MATERIAL USAGE (%) - BLDG 'A' WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		4,176	
DOORS & WINDOWS (DEDUCTED)		853	
ACCOUNTABLE AREA		3,323	100%
MASONRY		3,219	97%
CAST STONE		104	3%

MATERIAL USAGE (%) - BLDG 'B' WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		604	
DOORS & WINDOWS (DEDUCTED)		136	
ACCOUNTABLE AREA		468	100%
MASONRY		460	99%
CAST STONE		8	1%



RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:
BUSINESS PARK
409 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	01/07/2020
SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:
OUTDOOR LIGHT SPECS.

E2
SP2019-044

Consistent with LEED® goals & Green Globes® criteria for light pollution reduction

American Revolution

Series 247 and 247 Cutoff
50-150W HPS, 100-175W MH

CATALOG # _____
PROJECT _____
TYPE _____

PRODUCT OVERVIEW

SERIES 247

Features:

- Die-cast aluminum housing and hood for long-life performance
- Die-cast trigger latch (TL) option available for easy access to internal components
- Optical assembly designed for maximum performance
- Hinged hood and captive screw provision afford quick, easy access to electrical and optical area for relamping or servicing
- Slipfitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.
- E39 mogul base socket standard
- All electrical components warranted by American Electric Lighting's 6-year guarantee
- Complies with ANSI: C136.2, C136.10, C136.15, C136.31 (regular only), C136.16 (FC only)
- Suitable for -30°C MH & / -40°C HPS

SERIES 247 CUTOFF

Applications:

- Streetscapes
- Walkways
- Pathways
- Parks

DIMENSIONS

Effective Projected Area (EPA)
The EPA for the American Revolution Series 247 is 1.6 sq. ft. Approx. Wt. = 36 lbs.

PREFERRED SELECTION CATALOG NUMBERS

Series 247
247 10S RN 120 R3 AY
247 15S RN 120 R3 AY
247 10S RN 120 R5 AY
247 15S RN 120 R5 AY

Series 247 Cutoff
247 10S RN 120 R2 FC TL
247 10M XN MT1 R2 FC TL

Decorative

DL-247-A

ANTIQUE STREET LAMPS

RESONANCE BOLLARD 1.0 HID

TLRCB10

CATALOG # _____
PROJECT _____
TYPE _____

Construction:
The luminaire is die cast and permanent mold aluminum. The roof has an internal hinge, hidden from view. Roof and ballast lids are sealed with silicone gaskets. All exposed hardware is weather resistant. FINISH The luminaire has a powder coat finish utilizing a premium IGC polyester powder. The finish is a three-stage process that consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.

Optics:
The horizontal lens is tempered flt glass with a continuous seal. The luminaire utilizes an internal anodized and segmented reflector with sockets for horizontal lamp. Reflectors are available in Type II, III, IV, and V, full cutoff distributions, are interchangeable and rotatable.

Electrical:
Luminaire is furnished with an HID ballast assembly. Sockets are porcelain, medium base, with a copper alloy nickel plated screw shell and center contact. Ballasts are core and coil, high-power factor, regulating type. Lamp is not included.

Installations:
The Resonance Bollard offers a patented impact resistant mounting and leveling design ensuring lifelong performance. Three leveling pads within the base mounting plate are easily accessible through the access panel. The leveling pads provide full contact with the concrete pad, providing a high degree of stability. The base mounting plate is fully welded to the bollard post, providing complete structural support from all directions, giving the bollard superior vandal resistance.

Listings:
The luminaire is tested to and meets all NRTL's outdoor requirement standards, wet location use, through the fully accredited and approved CSA laboratory.

Max. EPA: 1.8 sq. feet
Max. Height: 3' 8" (111.8 cm)
Max. Width: 1' 1" (33 cm)
Max. Weight: 35 lbs (15.8 kg)

Sample Catalog number:

Series	Lamp Type	GCF	R3	240	SF	DWH
TLRCB10	50M MED	GCF	R2	TYPE 2	120	SF
	70M MED		R3	TYPE 3	208	DF
	100M MED		R4	TYPE 4	240	HF
	39MHC G12		R5	TYPE 5	277	HF
	70MHC G12				277	MVOLT*
	26TRT					
	32TRT					
	42TRT					

Ordering Guide:

Series	Lamp Type	Lens	Distribution	Voltage	Options
TLRCB10	50M MED	GCF	R2	TYPE 2	120
	70M MED		R3	TYPE 3	208
	100M MED		R4	TYPE 4	240
	39MHC G12		R5	TYPE 5	277
	70MHC G12				277
	26TRT				
	32TRT				
	42TRT				

Finish

DBL	BLACK
DDB	DARK BRONZE
DNA	NATURAL ALUMINUM
DWH	WHITE
CM	CUSTOM MATCH
CS	CUSTOM SELECT
	RAL COLORS

Notes:
1. 120V and 277V only
2. Not available with CFL
3. Consult factory for 208 volt available in Canada
4. Multi-cap ballast (120, 208, 240, 277V), only available CFL

TLRCB10 HID

Antique Street Lamps™ | 3825 Columbia Road | Grinnville, OH 43023 | Phone: 1-800-410-8899 | www.antiquestreetlamps.com
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HILITE MFG. CO., INC

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
web: www.hilitemfg.com
e-mail: sales@hilitemfg.com

H-EM-08 Emblem Shade Collection

Job Name: _____
Type: _____
Quantity: _____

FINISH - Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamel liquid, raw metal, or galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.

For interior finish of fixture refer to color chart on pages 344-348.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

SOCKETS/LAMPS - Available in:
Incandescent
- rated 200 watt max/120 volt, medium base.
Compact Fluorescent(CFL)
- rated 13/18/26/32 watt max/120/277 volt, GX24Q base.
Metal Halide(MH)
- rated 35/50/70/100 watt max/120/208/240/277 volt, medium base, 4KV socket.
High Pressure Sodium(HPS)
- rated 50/70/100 watt max/120/277 volt, medium base.

MOUNTING - Stem, Arm, and Flush mounting available.

ACCESSORIES - WGR(Wire Guard) and SK(Swivel Knuckle) available.

MADE IN THE U.S.A.

Suitable for wet location.
(Except when cord mounted)



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: February 25, 2025
SUBJECT: SP2025-005; *Site Plan for 2651 Sunset Ridge Drive*

The applicant, Dhruvjyoti Basu -- *on behalf of Sameer Patel* --, is requesting the approval of a Site Plan for a *Restaurant with 2,000 SF or more without Drive-Through or Drive-In*. On March 6, 2017, the City Council approved a replat [Case No. P2017-011] establishing the subject property as Lot 5, Block A, Harbor District Addition. On April 19, 2021, the Planning and Zoning Commission approved a Site Plan [Case No. SP2021-005] for a *Restaurant with 2,000 SF or more without Drive-Through or Drive-In* on the subject property. This Site Plan approval was set to expire on April 19, 2023 in accordance with Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2021-011]. Based on this, the Site Plan was deemed to be active. The Engineering Plans were approved on July 11, 2023, and were considered to be valid for a period of one (1) year. On January 5, 2023, the applicant submitted a Building Permit [Case No. COM2023-36]; however, this permit expired due to inactivity on August 28, 2024. Since the Building Permit was holding both the Site Plan and Engineering Plans open, when it expired the Site Plan and Engineering Plans also expired.

In response to this expiration, the applicant resubmitted the same Site Plan on February 14, 2025. The submitted Site Plan was the same as the original Site Plan approved under Case No. SP2021-005, with the exception of minor changes being made to the Photometric Plan. As part of the review for this case, staff has indicated to the applicant that the Photometric Plan will need to be changed to meet the lighting and photometric standards of the Unified Development Code (UDC), and this is considered to be a condition of approval for this case. Staff has attached the original Site Plan case memo as nothing in the Planned Development District 32 (PD-32) has changed that would affect the approval of this case. As part of this case, the Planning and Zoning Commission will be tasked with reviewing the previous Site Plan approval -- *including the variances/exceptions that were granted* -- and determining if the proposal meets the criteria for Site Plan approval as outlined in Subsection 03.04, *Site Plan Review*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). In addition, staff will be taking the proposed building elevations back to the Architectural Review Board (ARB) prior to the meeting on February 25, 2025, and will provide an updated recommendation from the ARB to the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the February 25, 2025 Planning and Zoning Commission meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 13, 2021
APPLICANT: Cameron Slown; *Teague, Nall and Perkins, Inc.*
CASE NUMBER: SP2021-005; *Site Plan for a Restaurant with 2,000 SF or More without a Drive-Through*

SUMMARY

Discuss and consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Elias Pope of 8020 Hospitality, LLC for the approval of a Site Plan for a *Restaurant with 2,000 SF or More without Drive-Through or Drive-In* on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

BACKGROUND

On July 15, 2015, the Planning and Zoning Commission approved a site plan [*Case No. SP2015-015*] for a 6,800 SF *Restaurant with 2,000 SF or More without Drive-Through or Drive-In* on the subject property. Following this approval, the applicant was granted variances to the stone and masonry requirements by the City Council on July 20, 2015. On September 8, 2015, the City Council approved *Case No. MIS2015-006*. This case involved the applicant requesting to utilize 15 of the 441 parking spaces in the Trend Tower parking garage to meet the required parking requirements. On December 13, 2016, the Planning and Zoning Commission approved an amended site plan [*Case No. SP2016-027*], which approved changes to the building elevations; however, no engineering plans or other submittals were submitted after this approval. According to Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)f development of a lot or tract with an approved site plan has not been completed within two (2) years, or more with an extension, of its final approval, the site plan shall be deemed to have expired and a new review and approval of a site plan for development of the property shall be undertaken, and this new approval shall be required before a building permit is issued for development. This review and approval shall be evaluated according to the standards of the Unified Development Code (UDC), taking into account all changes to the Unified Development Code (UDC) which have occurred subsequent to the prior site plan approval." The expiration of the applicant's approved site plan was on December 13, 2018.

PURPOSE

On March 19, 2021, the applicant -- *Cameron Slown of Teague, Nall and Perkins, Inc.* -- submitted an application requesting approval of a site plan for the purpose of developing a ~6,800 SF restaurant on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2651 Sunset Ridge Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is IH-30, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six (6) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) tracts of land (*i.e. a portion of Lot 1 of the Village 2 Addition; Tract 3 of the M. J. Barksdale Survey, Abstract No. 11; and the Ranch House Addition*). Situated on the Ranch House Addition is a restaurant (*i.e. Snuffer's Restaurant*). This is followed by railroad right-of-way owned by the M. K. & T. Railroad. All of these properties are zoned Commercial (C) District.

South: Directly south of the subject property is a seven (7) story office building (*i.e. Trend Tower*), which is situated on a 2.0617-acre parcel of land (*i.e. Lot 1, Block A, Harbor District Addition*) that is located within the *Summit Office Sub-District* of Planned Development District 32 (PD-32). Beyond this is a 9.00-acre vacant tract of land (*i.e. Lots 1, 2, 3 & 4, Block 9, Moton Addition*) that is located within the *Hillside Mixed-Use* and *Horizon/Summer Lee Sub-Districts* of Planned Development District 32 (PD-32).

East: Directly east of the subject property is a 1.021-acre vacant tract of land (*i.e. Lot 1, Block A, Harbor District Addition*). Continuing east is a medical office facility (*i.e. Care Now*) followed by Horizon Road, which is identified as a M4U (*i.e. major collector, four [4] lane, roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Planned Development District 32 (PD-32) and are located within the *Summit Office Sub-District*.

West: Directly west of the subject property is Sunset Ridge Drive, which is identified as a *Street Type 'B' & 'E'* according to Planned Development District 32 (PD-32). Beyond this is a 2.893-acre parcel of land (*i.e. Lot 2, Block B, Harbor District Addition*) that is currently under construction for a strip retail center and restaurant facilities and located within the *Hillside Sub-District*. Adjacent to this property are two (2) restaurants (*i.e. the Oar House and Culpepper Steakhouse*). Culpepper Steakhouse is located within the *Hillside Sub-District* and the Oar House is located within the *Freeway Frontage Sub-District*. All of these properties are zoned Planned Development District 32 (PD-32). Beyond this is Shoreline Trail, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to *Ordinance No. 17-22*, the proposed use (*i.e. a restaurant, 2,000 SF or more, without a Drive-Thru or Drive-In*) is permitted *by-right* in the *Summit Office Sub-District*, and will not require any additional approvals by the Planning and Zoning Commission. With the exception of the variances being requested, the submitted site plan, building elevations, and landscape plan, generally conform to the technical requirements contained within the Unified Development Code (UDC) and Planned Development District 32 (PD-32) for a property located within the *Summit Office Sub-District*. A summary of the density and dimensional requirements is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	0.90-Acres; <i>In Conformance</i>
<i>Minimum Lot Width</i>	60-Feet	217.09-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	173.70-Feet; <i>In Conformance</i>
<i>Minimum Build-to-Line (Sunset Ridge Drive)</i>	10-Feet	17-Feet; <i>In Conformance</i>
<i>Minimum Setback (Sunset Ridge Drive)</i>	5-Feet	17-Feet; <i>In Conformance</i>
<i>Maximum Permitted Encroachment ¹</i>	5-Feet	2-Feet; <i>In Conformance</i>
<i>Maximum Height</i>	8 Stories or 120-Feet	38-Feet; <i>In Conformance</i>
<i>Maximum Mechanical Screen Height</i>	20-Feet	6½-Feet; <i>In Conformance</i>
<i>Minimum Masonry Requirement</i>	90%	48%-59%; <i>Variance Requested</i>
<i>Minimum Stone Requirement</i>	20% Natural or Quarried	0%; <i>Variance Requested</i>
<i>Minimum Parking Spaces Required</i>	68	50/18 ² ; <i>Variance Requested</i>
<i>Maximum Lot Coverage</i>	60%	17.4%; <i>In Conformance</i>

Notes:

¹: Canopies, awnings, balconies and roof overhangs may encroach over the Build-to-Line.

²: 50 surface parking spaces are provided and 18 are being requested to be located in the Trend Tower parking garage. This will not put surface parking over the 20% maximum stipulated by Planned Development District 32 (PD-32).

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], provides flexibility in order to create high quality projects for the *Harbor District*. Non-residentially zoned projects are to generally conform to the Commercial (C) District standards. In this case, the subject property is located in the *Summit Office Sub-District* and is within the IH-30 Overlay (IH-30 OV) District,

which is more restrictive than the *Design Guidelines [Resolution No. 10-40]* required by PD-32. With this being said, the standards of the IH-30 OV (*i.e. Subsection 06.02, Art. 05, UDC*) shall apply to the development of the subject property. The *Summit Office Sub-District* is intended to capitalize on the views of Lake Ray Hubbard by providing mid-rise buildings that include good visibility and access from IH-30 and Horizon Road. This district also takes advantage of existing slopes and trees, which adds to the characteristics of the *Summit Office Sub-District*. In this case, the applicant's proposal is adjacent to the IH-30 Frontage Road and is accessible from Sunset Ridge Drive. Additionally, by virtue of being in Planned Development District 32 (PD-32) and generally conforming to *Ordinance No. 17-22*, the proposed site plan appears to be in conformance to the majority of the requirements intended for properties within the *Summit Office Sub-District*.

VARIANCES REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of the IH-30 Overlay (IH-30 OV) District and the Unified Development Code (UDC):

- (1) Materials and Masonry Composition. Each exterior wall of a building's façade shall consist of a minimum of 90% *Primary Materials* and/or a maximum of ten (10) percent *Secondary Materials*.
 - (a) Stone. According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a minimum of 20% natural or quarried stone is required on all building façades. In this case, the applicant is not incorporating stone on any of the building facades.
 - (b) Secondary Materials. According to Subsection 06.02(C)(1)(a)(3)(a), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), secondary materials are any material that is not deemed to be a primary material and are limited to a maximum of ten (10) percent of the building's façade. In this case, the applicant is indicating the use of glazed tile, wood screens, metal panels, and steel beams/tube columns that collectively exceed ten (10) percent on each of the building facades (*i.e. north; 42.8%, south; 51.5%, east; 48.9%, and west; 42.8%*).
- (2) Parking.
 - (a) Joint Use Parking. According to the *Parking Spaces Required by Use* section of *Exhibit 'F-1' of Ordinance No. 17-22*, the parking requirement for a *Restaurant* is one (1) parking space per 100 SF of building area. This would equate to a total parking requirement of 68 spaces. Currently, the applicant's site plan shows the provision of 50 parking spaces on site; however, the applicant has asserted that with the public parking provided in the Trend Tower parking garage (*i.e. 441 parking spaces*) and the 37 on-street/surface parking spaces sufficient parking is being provided. This approval would require the City Council to approve a variance to the parking requirements to allow the on-street and public parking spaces in the Trend Tower garage to supplement the restaurants required parking.

According to Section 9, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In cases where a variance or variances is/are being requested, the applicant shall provide compensatory measures that directly offset the requested variances."

In this case, the applicant has provided a letter explaining the exceptions and offering compensatory measures in the form of additional landscaping (*i.e. one (1) canopy tree*) along the IH-30 Frontage Road and four (4) decorative planters underneath the awning facing Sunset Ridge Drive. Additionally, the applicant is indicating increased building articulation and architectural elements that provide a presence for the district, as well as the use of an interstitial space for hiding the mechanical equipment. The Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set the requested variances. This is a discretionary decision for the Planning and Zoning Commission, which requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the variance(s) are denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Harbor District. The Harbor District is considered an entry portal to the City of Rockwall and is intended to provide a pedestrian oriented, mixed use district accommodating residential and non-residential land uses. The Harbor District is a live, work, and play district that offers professional offices, scenic condominiums, with restaurants, shopping and entertainment venues, and is intended to be a regional commercial center. When reviewing the strategies for this district, the applicant's site plan is targeted at providing a pedestrian friendly and walkable environment by providing streetscape elements along Sunset Ridge Drive. Additionally, the applicant is providing views of Lake Ray Hubbard with an outdoor dining area on top of the restaurant.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On March 30, 2021, the Architectural Review Board (ARB) approved a motion to recommend approval of the proposed building elevations and the associated variances by a vote of 5-0, with Board Members Miller and Avenetti absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a *Restaurant with 2,000 SF or More without Drive-Through or Drive-In* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: SP2025-005
PROJECT NAME: Site Plan for 2651 Sunset Ridge
SITE ADDRESS/LOCATIONS: 2651 SUNSET RIDGE DR
CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/19/2025	Approved w/ Comments

02/19/2025: SP2025-005; Site Plan for 2651 Sunset Ridge Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Dhruvjyoti Basu on behalf of Sameer Patel for the approval of a Site Plan for a Restaurant with 2,000 SF or More without Drive-Through or Drive-In on a 0.90-acre parcel of land identified as Lot 5, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32) [Ordinance No. 17-22], situated within the IH-30 Overlay (IH-30 OV) District, and generally located at the southeast corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-005) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

I.5 On April 19, 2021, the Planning and Zoning Commission approved a Site Plan [Case No. SP2021-005] for a Restaurant with 2,000 SF or more without Drive-Through or Drive-In on the subject property. This Site Plan approval was set to expire on April 19, 2023 in accordance with Subsection 03.05(A), Site Plan Expiration, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC); however, at that time the applicant had an active Engineering submittal [Case No. E2021-011].

Based on this, the Site Plan was deemed to be active. The Engineering Plans were approved on July 11, 2023, and were considered to be valid for a period of one (1) year. On January 5, 2023, the applicant submitted a Building Permit [Case No. COM2023-36]; however, this permit expired due to inactivity on August 28, 2024. Since the Building Permit was holding both the Site Plan and Engineering Plans open, when it expired the Site Plan and Engineering Plans also expired.

M.6 Photometric Plan. Please provide a photometric plan that meets the requirements of the UDC. The allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) footcandle or 0.2 FC.

I.7 Please note that failure to address all comments provided by staff by 3:00 PM on March 4, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Please note the scheduled meetings for this case:

(1) Planning & Zoning Work Session meeting will be held on February 25, 2025.

I.9 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/20/2025	Approved w/ Comments

02/21/2025: 1. What is this line?
2. Update

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Need to resubmit engineering for review due to expiration of engineering plans.
- Move light pole along Sunset 4' from back of curb

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved

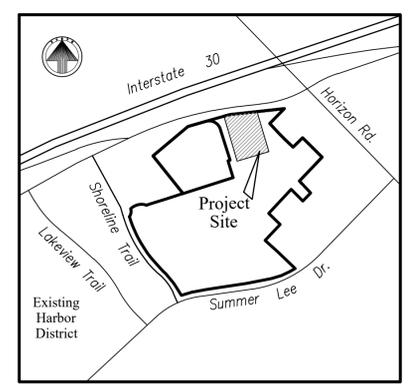
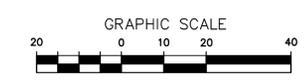
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved w/ Comments

02/18/2025: There are better varieties of turfgrass available now such as Tif Tuf, Latitude 36 or Tahoma 31 that are more shade, drought, wear and cold tolerant

02/18/2025: All parking must be within 80' of tree canopy

General Items:
 - Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway)
 - Need to resubmit engineering for review due to expiration of engineering plans.
 - Move light pole along Sunset 4' from back of curb



LOCATION MAP

NOTE:
 - DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RESTAURANT EXTERIOR.

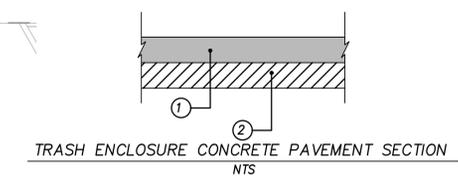
SITE INFORMATION

LAND AREA:	0.90 ACRES (39,184 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT
BUILDING AREA:	6,800 S.F.
BUILDING TO LOT COVERAGE:	6,800/39,184=17.4%
BUILDING HEIGHT:	38 FEET
BUILDING REQUIRED PARKING:	68 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	68 TOTAL (*18 TREND TOWER GARAGE, 50 PARKING LOT) (INCLUDES 3 HANDICAP SPACES)
IMPERVIOUS AREA:	30,505 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	8,679 S.F.

PARKING REQUIREMENT BREAKDOWN:
 RESTAURANT SPACE AT 1 SPACE/100 S.F. --> 6,800/100 = 68 SPACES
 * TREND TOWER PARKING REQUIREMENT:
 OFFICE SPACE AT 1 SPACE/300 S.F. --> 107,129/300 = 357 SPACES
 TREND TOWER PARKING GARAGE CURRENTLY PROVIDES 441 PARKING SPACES SO PER THE SHARED PARKING AGREEMENT, A PORTION OF THIS PARKING MAY BE USED BY LOT 3 BLOCK A, THEREFORE 18 PARKING STALLS FROM THE TREND TOWER PARKING GARAGE WILL BE AVAILABLE FOR USE ON LOT 3 BLOCK A.

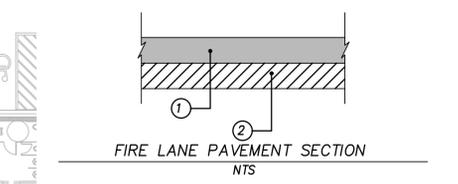
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2021.
 Witness our hands this ____ day of _____, 2021.

CASE NUMBER: ~~SP2021-005~~
FOR CONSTRUCTION



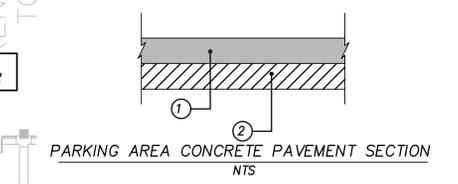
1. 8"-4,000 PSI CONCRETE PAVEMENT WITH NO. 4 BARS 18" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)

2. 8" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 8" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 5% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



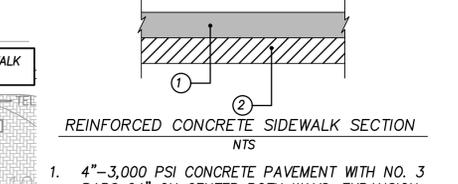
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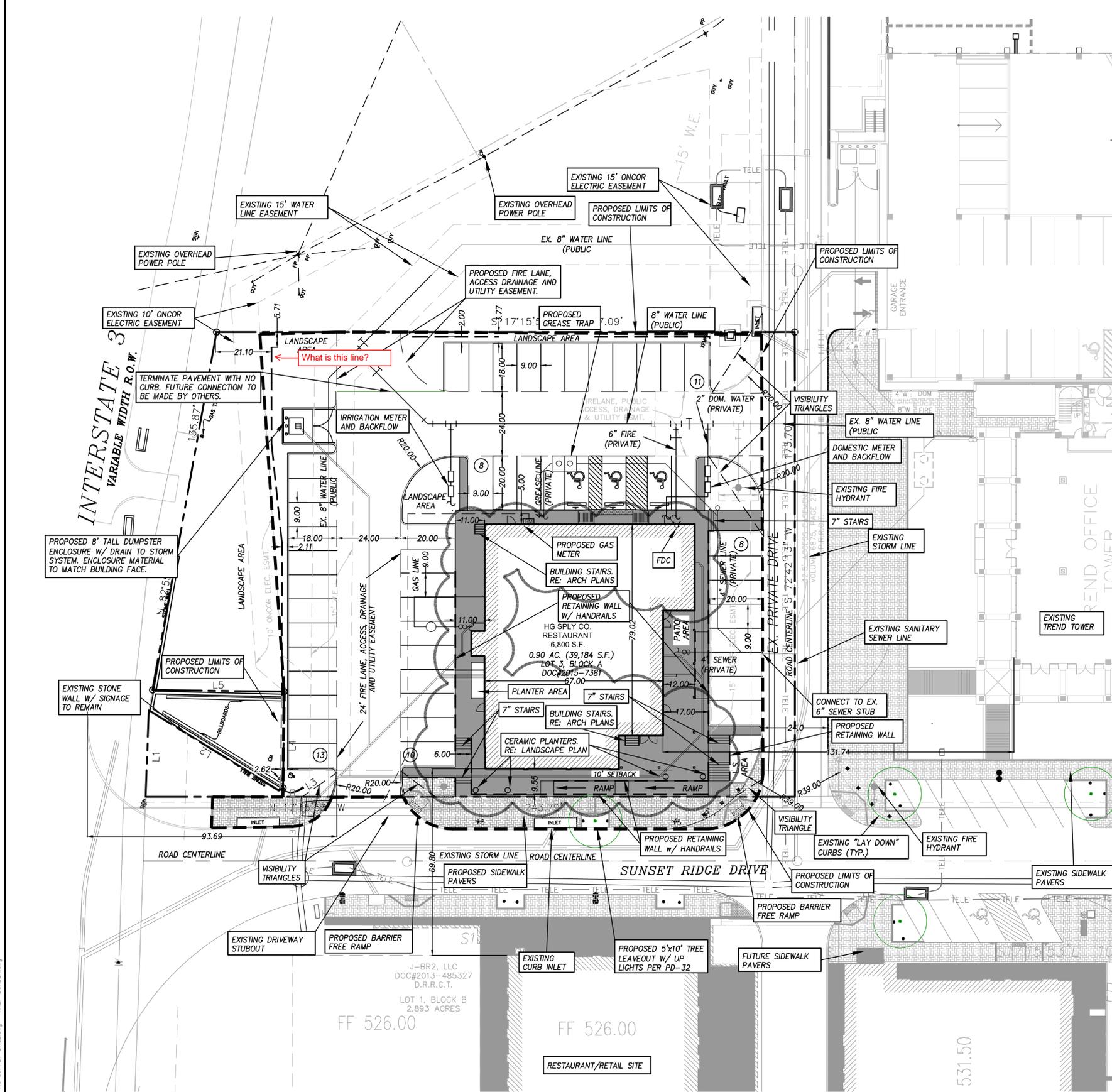
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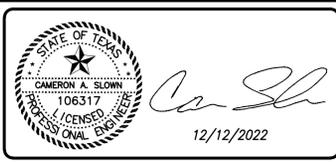
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Drawing: P:\04_FCOM\Projects\6-Commercial\Harbor District - HG Supply\1-DRAWINGS\1-DESIGN-CURRENT\04 - HG SUPPLY - SITE PLAN.dwg at Dec 15, 2022-2:30pm by cshaw
 Layout: C1.04 SITE PLAN - HG SUPPLY-BASE.dwg - XREF: BDRDR.dwg



teague nall and perkins, inc
 825 Walters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale
 when bar is
 1 inch long
 horiz
 1"=20'
 vert
 N/A
 December 2022

8020 HOSPITALITY, LLC.
 2008 GREENVILLE AVE.
 DALLAS, TX 75206

City of Rockwall, Texas
 Improvements for
HG SPLY, CO. RESTAURANT
SITE PLAN

tnp project
 HSP21134
 sheet
C1.04

no.	revision	by	date



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	2651 Sunset Ridge Road, Rockwall TX 75032		
SUBDIVISION	Harbor District	LOT	BLOCK
GENERAL LOCATION	Interstate 130 and Horizon Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-32	CURRENT USE	Unused
PROPOSED ZONING	N/A	PROPOSED USE	Restaurant
ACREAGE	0.9	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<input checked="" type="checkbox"/> APPLICANT
CONTACT PERSON: Sameer Patel	CONTACT PERSON: Dhruvjyoti Basu
ADDRESS: 2010 Greenville Ave Suite D	ADDRESS: 8088 Park Lane Apt F716
CITY, STATE & ZIP: Dallas, TX 75206	CITY, STATE & ZIP: Dallas, TX 75231
PHONE: 732-887-9699	PHONE: 510-329-1384
E-MAIL: sameer@unco.com	E-MAIL: dhruvbasu92@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

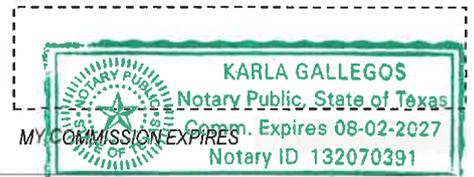
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

[Signature]

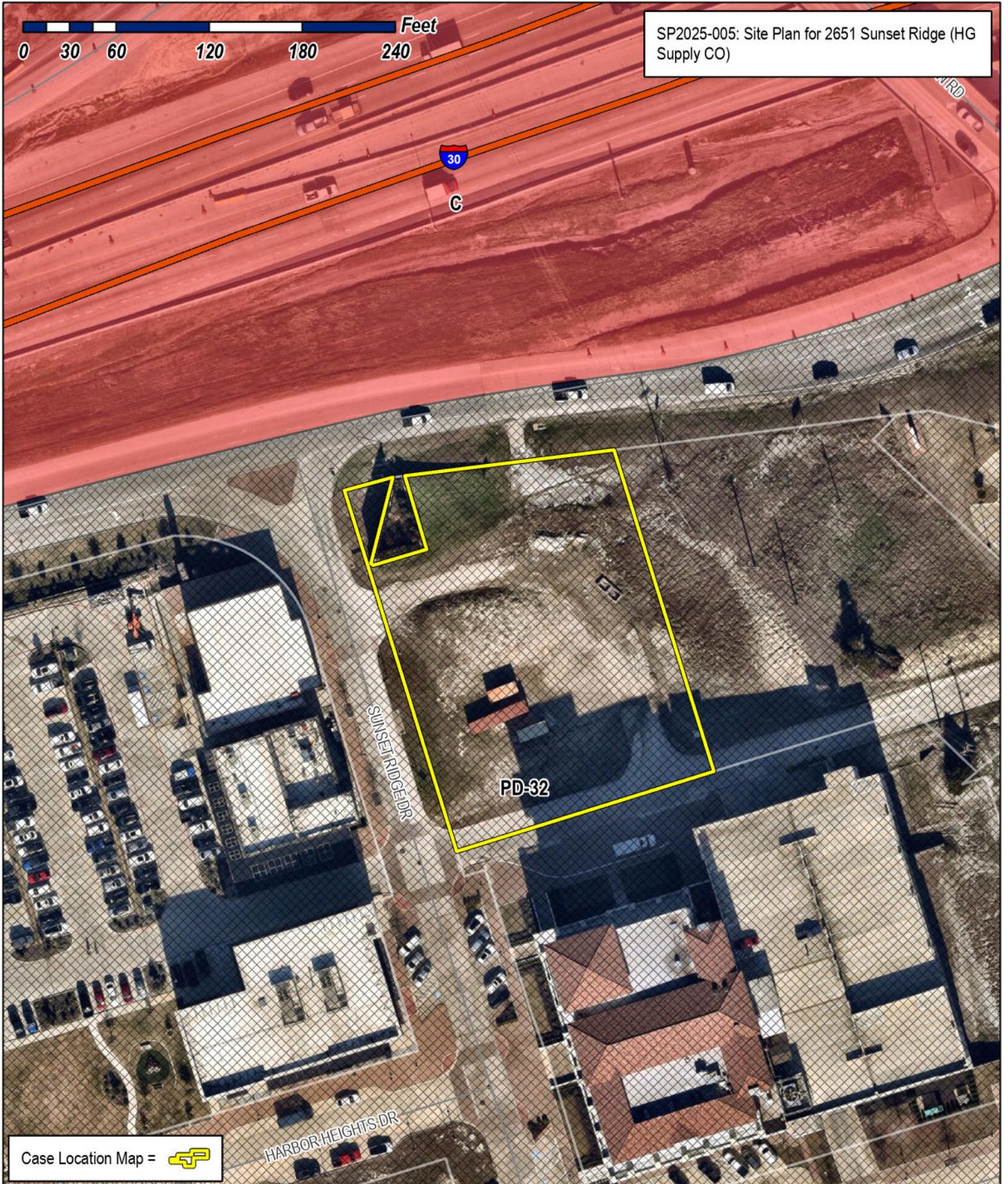
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



0 30 60 120 180 240 Feet

SP2025-005: Site Plan for 2651 Sunset Ridge (HG Supply CO)



Case Location Map = 



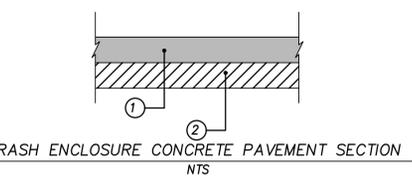
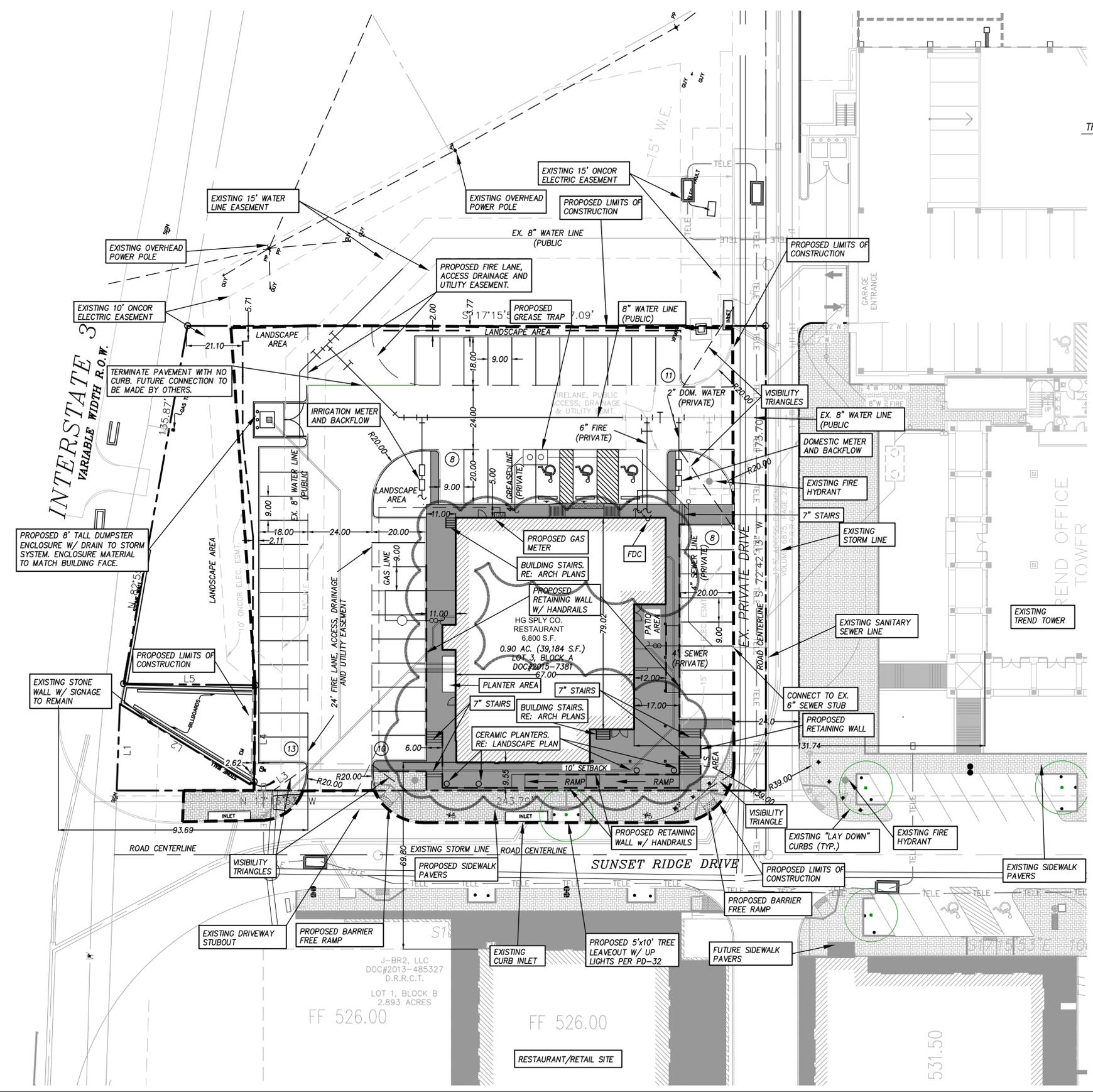
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

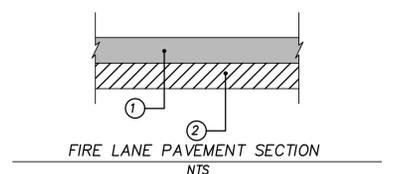
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



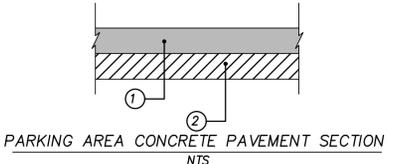
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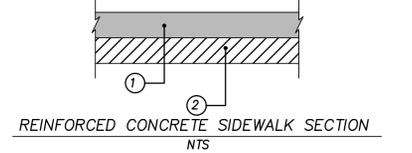
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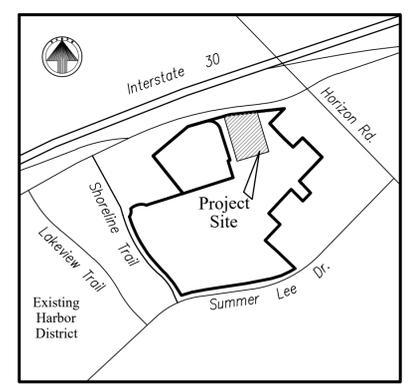
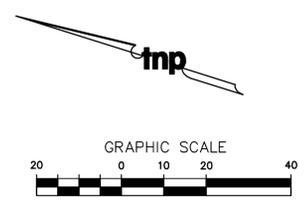
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LOCATION MAP

NOTE:
 - DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RESTAURANT EXTERIOR.

SITE INFORMATION

LAND AREA:	0.90 ACRES (39,184 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT
BUILDING AREA:	6,800 S.F.
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BUILDING PARKING PROVIDED:	68 TOTAL (*18 TREND TOWER GARAGE, 50 PARKING LOT (INCLUDES 3 HANDICAP SPACES))
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APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2021.
 Witness our hands this ____ day of _____, 2021.
 Planning & Zoning Commission, Chairman _____ Director of Planning & Zoning _____

CASE NUMBER: SP2021-005
FOR CONSTRUCTION

no.	revision	by	date



teague nall and perkins, inc
 825 Walters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381

Cameron A. Slown
 12/12/2022

scale
 when bar is 1 inch long
 horiz 1"=20'
 vert N/A
 December 2022

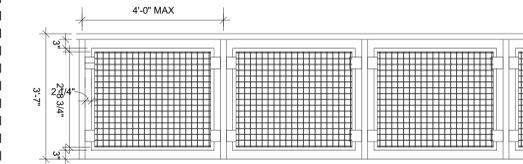
8020 HOSPITALITY, LLC.
 2008 GREENVILLE AVE.
 DALLAS, TX 75206

City of RockWall, Texas
 Improvements for
HG SPLY, CO. RESTAURANT
SITE PLAN

tnp project
 HSP21134
 sheet
C1.04

EXTERIOR FINISH SCHEDULE				
REF.	DESCRIPTION	PRODUCT INFORMATION	VENDOR	SUPPLIED/INSTALLED BY
M100	GREY BURNISHED BLOCK	HEAD WATER CMU/ COLOR #725 SMOKE/POLISHED FINISH/ GROUT CBP #TBS	STEVE MORRIS 214-552-9527	GC / GC
M101	GLAZED BRICK-STANDARD SIZE	ELGINBUTLER GLAZED BRICK/S2, 3 5/8" X 2 1/4" X 8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M101	GLAZED BRICK-THIN BRICK/ ALTERNATE	ELGINBUTLER GLAZED THIN BRICK/EB, MODULAR 3/4" X 2 1/4" X 7 5/8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M102	WOOD SCREEN AND PERGOLAS	2X6 WOLMANIZED PINE, SEALED FOR EXTERIOR APPLICATION. FINISH: STXXX	GC CHOICE	GC / GC
M103	CLEAR TEMPERED GLASS	1/2" CLEAR TEMPERED GLASS, PPG SOLARBAN 60 OR BETTER	PPG GLASS 888-774-4332	GC / GC
M104	PREFINISHED METAL COPING	PAC CONTINUOUS CLEAT COPING, PREFINISHED GALVANIZED STEEL, GRIT FINISH NATURAL PAC-TITE WT CANTED FASCA, COLOR WEATHERED ZINC	PAC CLAD 800-441-8661 WWW.ALUCOBONDUSA.COM	GC / GC
M105	METAL CLADDING	ALUCOBOND PE PANELS- PATRIOT RED- PVDF3	PAC CLAD 800-441-8661 WWW.ALUCOBONDUSA.COM	GC / GC
M106	WIRE MESH RAILING	STERLING DULA'S WIRE MESH RAILING SYSTEM, 3/16" DIA WOVEN WIRE INFILL, 3" OC EW	KANE INOVATIONS 800-773-2439	GC / GC
M107	SCREEN MESH	CRL STANDARD PERFORATED STAINLESS STEEL PANEL SYSTEM	CRLAURENCE 800-421-6144	GC / GC
M108	METAL PNL-2	HOT ROLLED STEEL, NATURAL COLOR, POWDER COATED CLEAR FINISH	GC CHOICE	GC / GC
M109	MTL FRAME W/ RED GLASS	2" X 4" STEEL TUBE FRAME PTD PT100, W/ 1/2" RUBY RED TEMPERED GLASS (TBS)	GC CHOICE	GC / GC
PT100	PAINT- RED	SW6871 POSITIVE RED- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT101	PAINT- BLACK	SW6258 TRICORN BLACK- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT102	PAINT- WHITE	SW7646 FIRST STAR- EXTERIOR	SHERWIN WILLIAMS	GC / GC

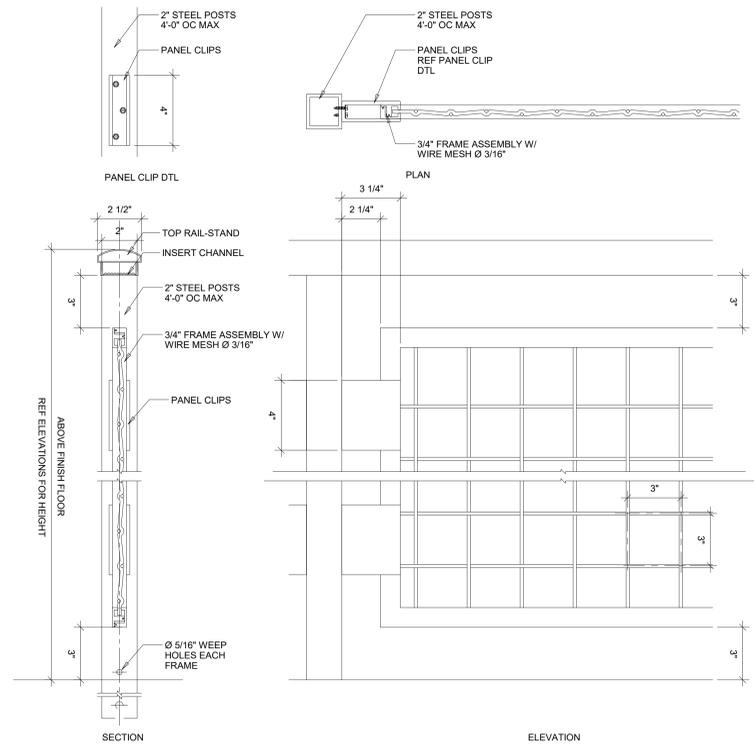
ALL SUBSTITUTIONS ARE TO BE APPROVED BY THE ARCHITECT AND THE OWNER
GC TO SUBMIT MATERIAL SAMPLES FOR ARCHITECT APPROVAL BEFORE ORDERING



ROOF DECK RAILING

5

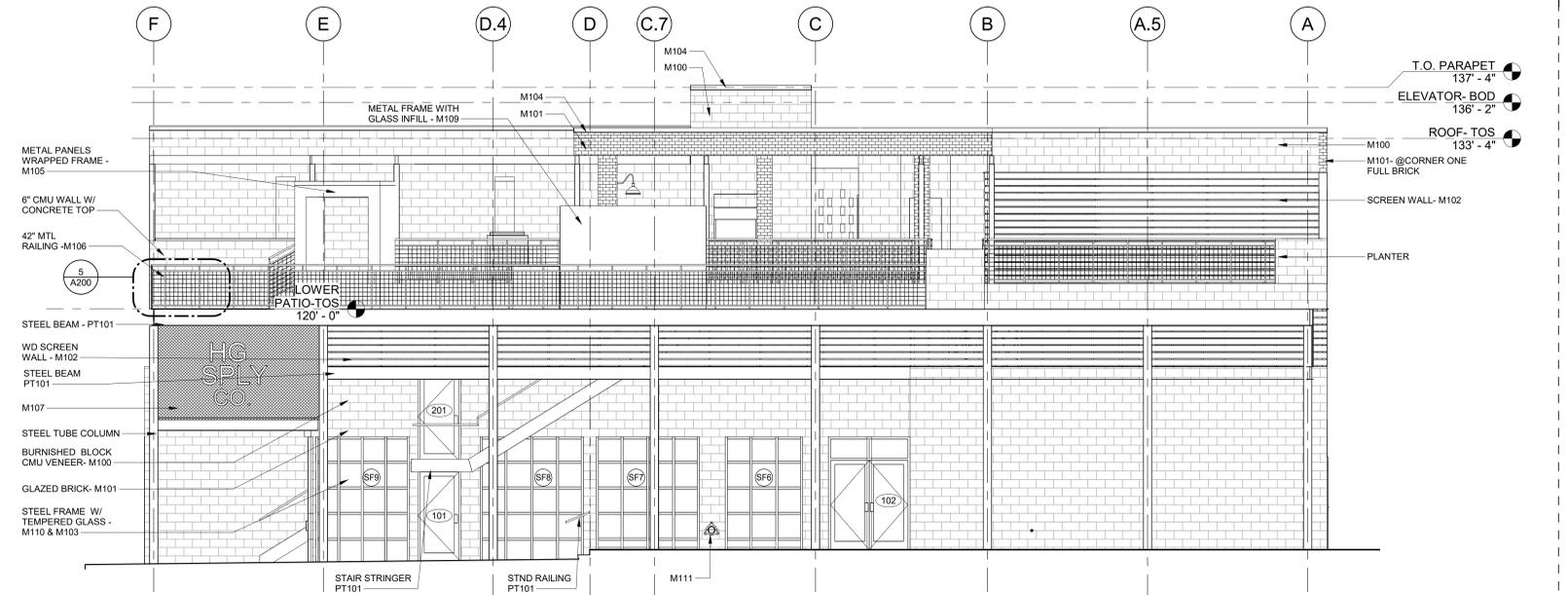
1/2" = 1'-0"



ROOF DECK RAILING DTLS

4

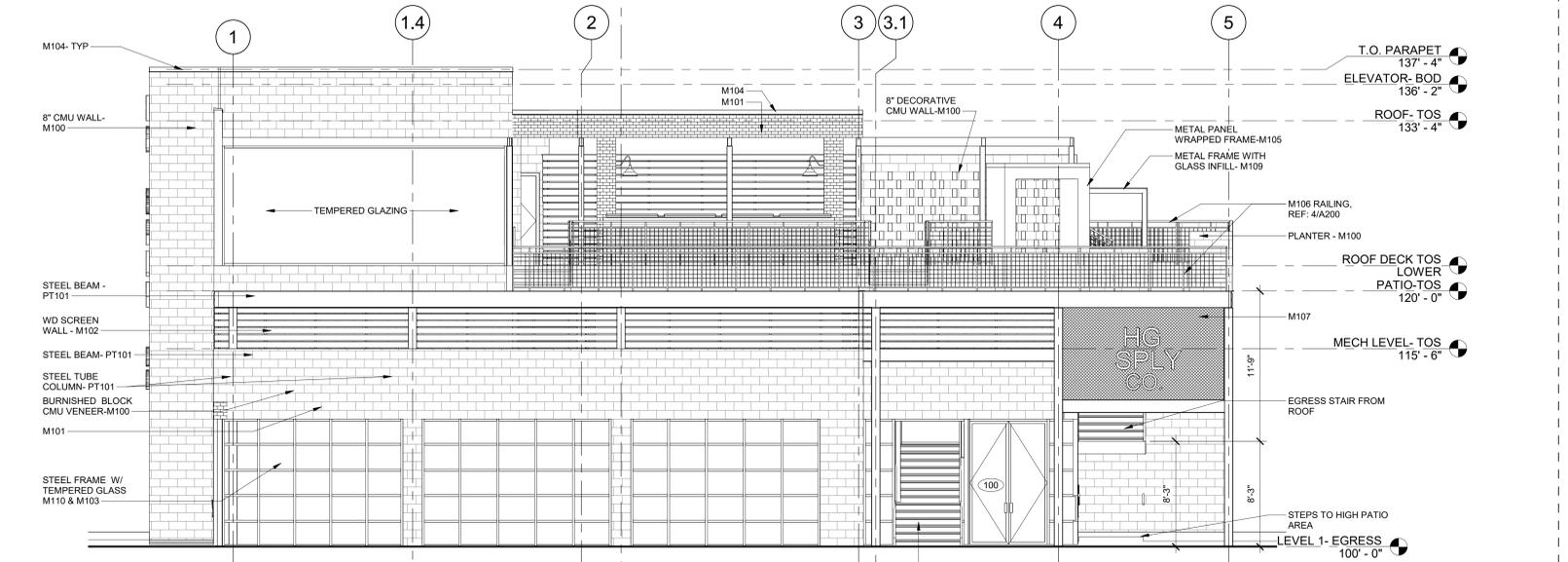
3" = 1'-0"



FRONT ELEVATION

3/16" = 1'-0"

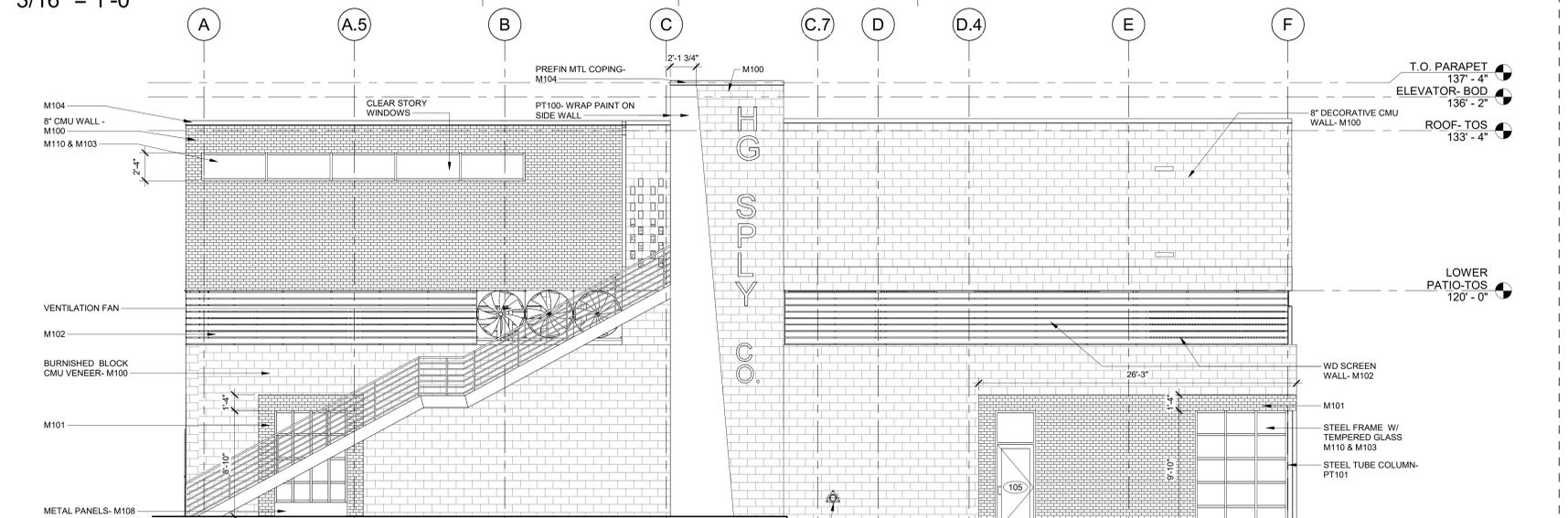
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SIDE ELEVATION

3/16" = 1'-0"

2



STREET ELEVATION

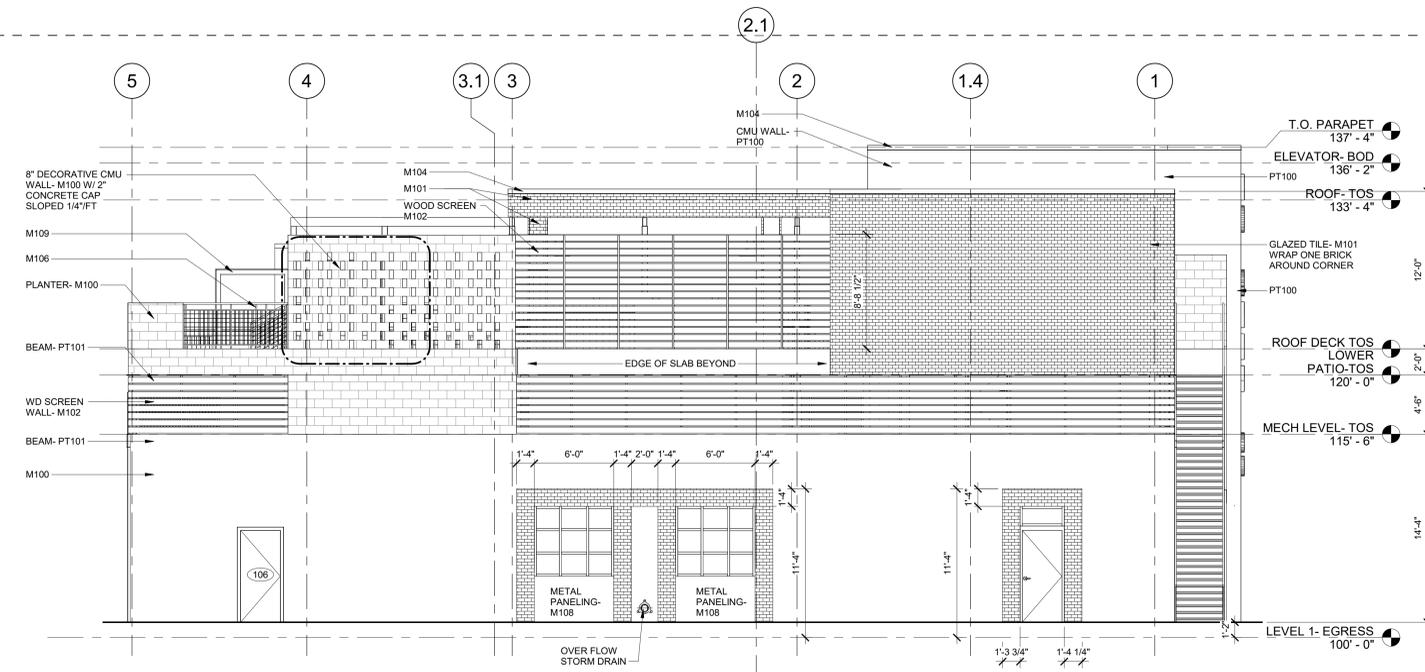
3/16" = 1'-0"

3



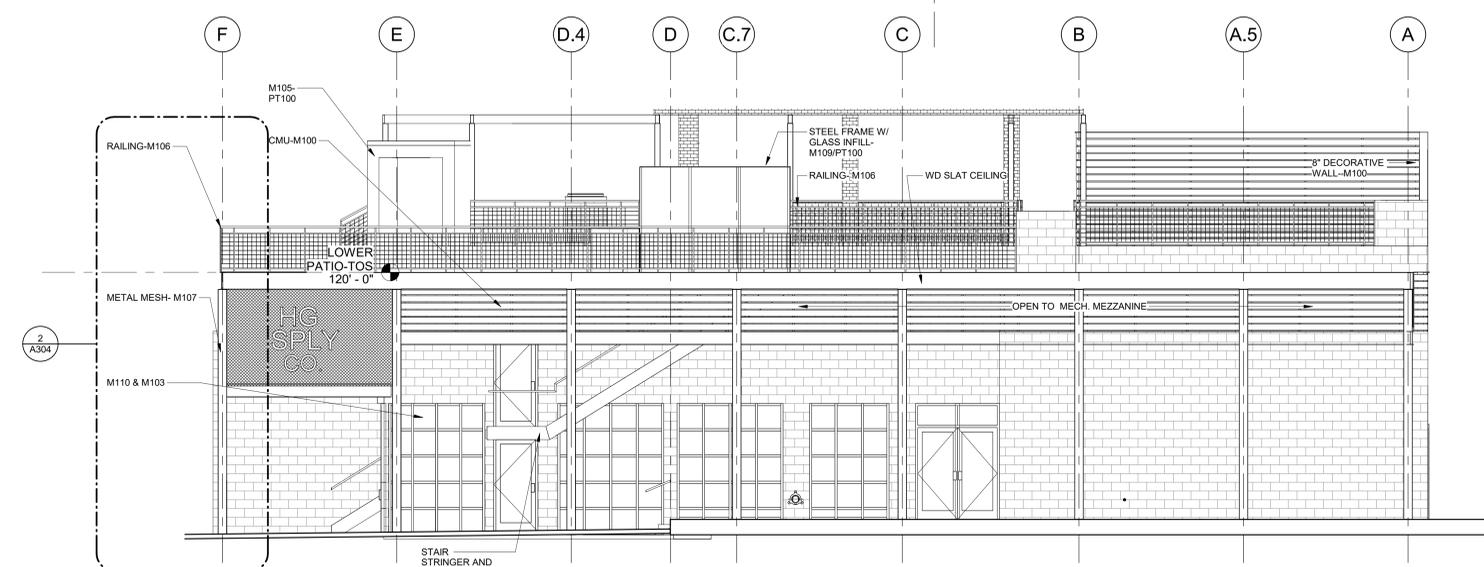
EXTERIOR FINISH SCHEDULE				
REF.	DESCRIPTION	PRODUCT INFORMATION	VENDOR	SUPPLIED/INSTALLED BY
M100	GREY BURNISHED BLOCK	HEAD WATER CMU/ COLOR #725 SMOKE/POLISHED FINISH/ GROUT CBP #TBS	STEVE MORRIS 214-552-9527	GC / GC
M101	GLAZED BRICK-STANDARD SIZE	ELGINBUTLER GLAZED THIN BRICK/52, 3 5/8"X 2 1/4"X 8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M102	GLAZED BRICK-THIN BRICK/ ALTERNATE	ELGINBUTLER GLAZED THIN BRICK/EB, MODULAR 3/4"X2 1/4"X7 5/8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M103	WOOD SCREEN AND PERGOLAS	2X6 WOLMANIZED PINE, SEALED FOR EXTERIOR APPLICATION. FINISH: STXXX	GC CHOICE	GC / GC
M104	CLEAR TEMPERED GLASS	1/2" CLEAR TEMPERED GLASS, PPG SOLARBAN 60 OR BETTER	PPG GLASS 888-774-4332	GC / GC
M105	PREFINISHED METAL COPING	PAC CONTINUOUS CLEAT COPING, PREFINISHED GALVANIZED STEEL, GRIT FINISH NATURAL PAC-TITE WT CANTED FASCIA, COLOR WEATHERED ZINC	PAC CLAD 800-441-8661	GC / GC
M106	METAL CLADDING	ALUCOBOND PE PANELS- PATRIOT RED- PVDF3	WWW.ALUCOBONDUSA.COM	GC / GC
M107	WIRE MESH RAILING	STERLING DULA'S WIRE MESH RAILING SYSTEM, 3/16" DIA WOVEN WIRE INFILL, 3" OC EW	KANE INOVATIONS 800-773-2439	GC / GC
M108	SCREEN MESH	CRL STANDARD PERFORATED STAINLESS STEEL PANEL SYSTEM	CRLAURENCE 800-421-6144	GC / GC
M109	METAL PNL-2	HOT ROLLED STEEL, NATURAL COLOR, POWDER COATED CLEAR FINISH	GC CHOICE	GC / GC
M110	MTL FRAME W/ RED GLASS	2"X4" STEEL TUBE FRAME PTD PT100. W/ 1/2" RUBY RED TEMPERED GLASS (TBS)	GC CHOICE	GC / GC
PT100	PAINT- RED	SW6871 POSITIVE RED- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT101	PAINT- BLACK	SW6258 TRICORN BLACK- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT102	PAINT- WHITE	SW7646 FIRST STAR- EXTERIOR	SHERWIN WILLIAMS	GC / GC

ALL SUBSTITUTIONS ARE TO BE APPROVED BY THE ARCHITECT AND THE OWNER
GC TO SUBMIT MATERIAL SAMPLES FOR ARCHITECT APPROVAL BEFORE ORDERING



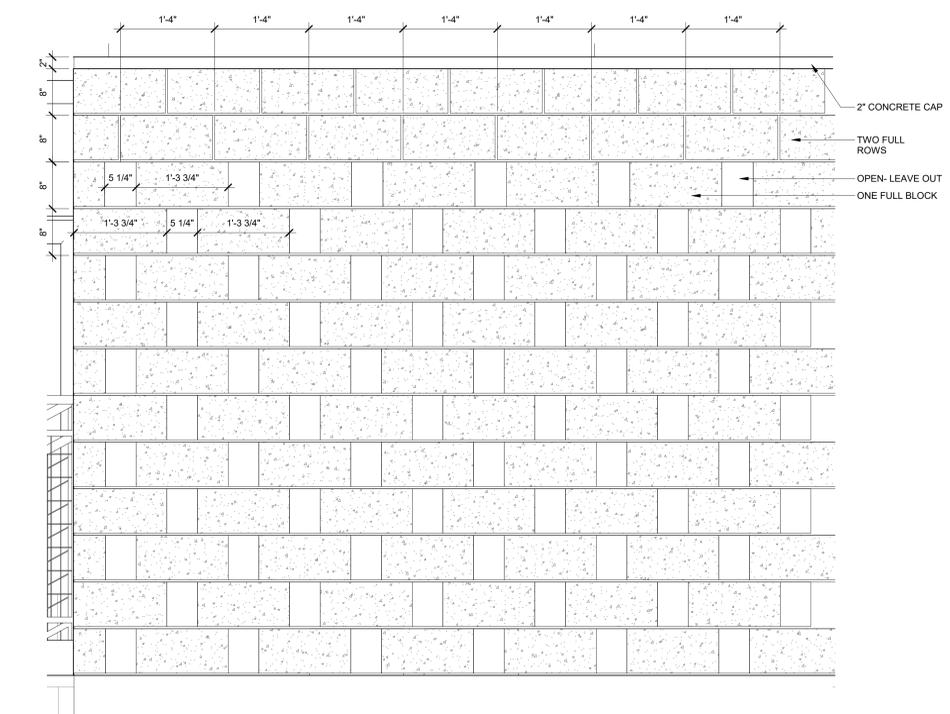
BACK ELEVATION

3/16" = 1'-0"



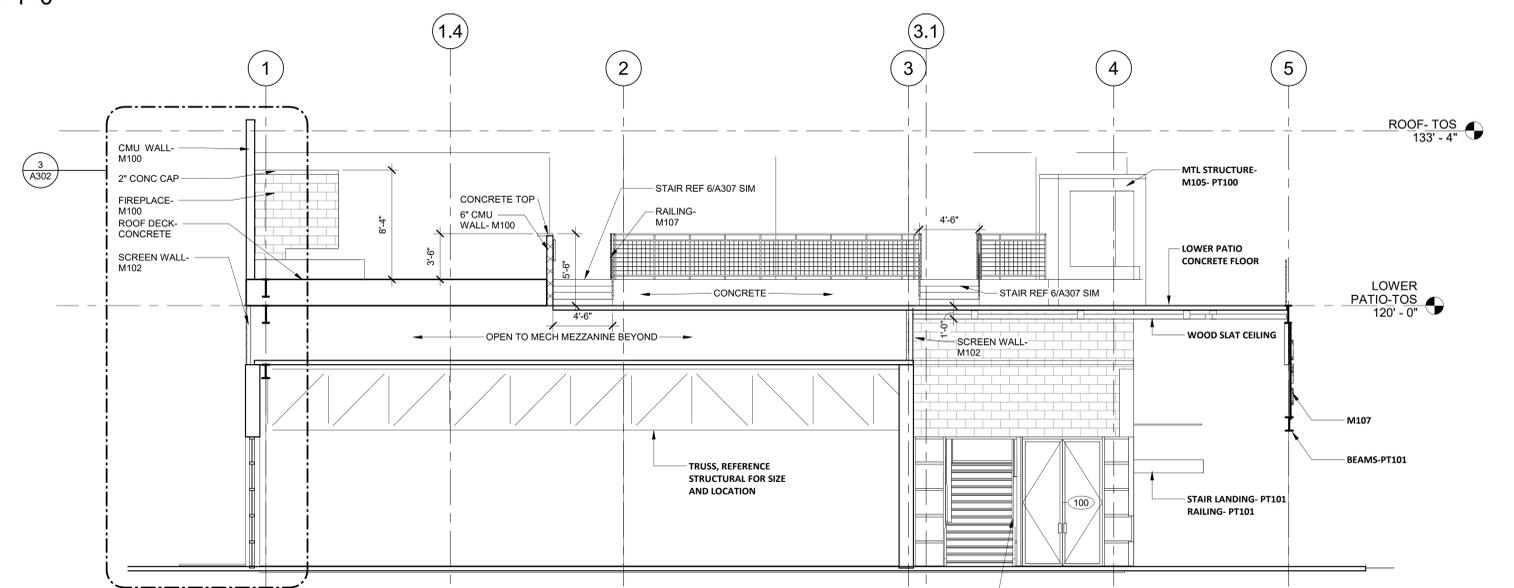
ELEVATION

3/16" = 1'-0"



DECORATIVE CMU WALL

1" = 1'-0"



BUILDING SECTION

3/16" = 1'-0"



10/14/2022 5:12:05 PM

EL ELCO Lighting

Project name: _____
 Fixture type: **L100**
 Date: _____

5" Airtight Metal Cone Reflector Trim

Features

- Cone Reflector, self flanged.
- Lamp: LED 15W - PAR30
- A32 with ELCC housing.
- O.D. 6.14"

Specifications

Options

White Black

Technical Details

Construction: Meticulously manufactured trim with a powder coated or anodized finish.

Installation: Clips securely mount trim into the housing and keeps rim flush with ceiling.

Compatible Housing: Compatible with 5" Line Voltage IC and Non-IC versions.

Lamp: Compatible with Medium base (E26) PAR type.

Product Number Builder Example: ELM5018

5" Cone Reflector Trim: _____ Finish: _____

ELM5018 B Black W White

2042 E. Herman Ave., Van Ness, CA 94068 • Tel: (415) 233-2655 Fax: (415) 233-2620 • elco@elco.com
 © ELCO Lighting 2018. All rights reserved. • Rev. 28 Jun 2018 • ELCO Lighting reserves the right to make specification and design changes without notice. Page 1 of 1

GARDCO by @ignify

Site & Area
 Gullwing LED
 GL18 Large

Project: _____
 Location: _____
 Date: _____
 Type: **OAI**
 Lamp: _____ Qty: _____
 Notes: _____

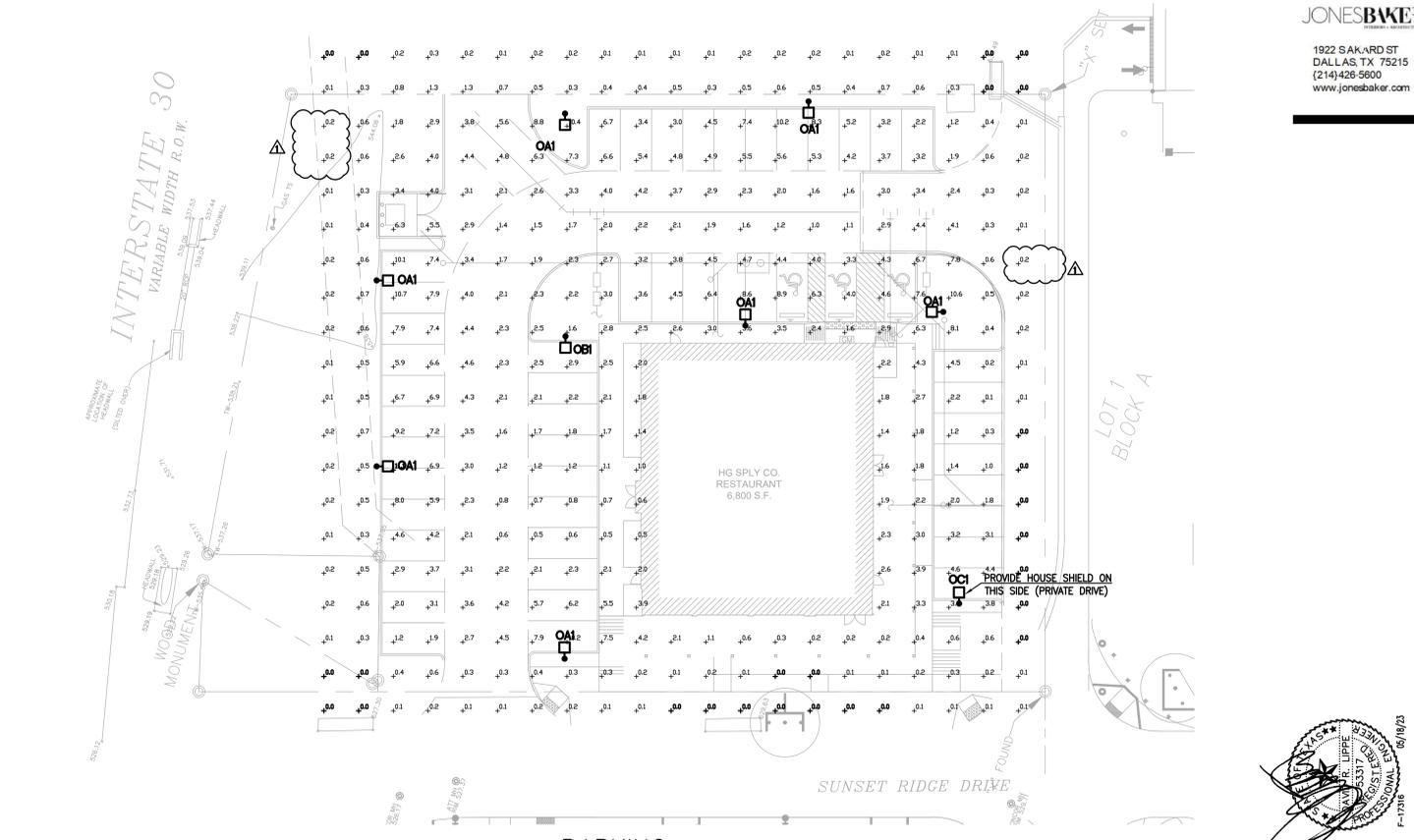
Gardco Gullwing LED luminaires combine LED performance excellence and advanced Gardco LED thermal management technology with the distinct Gullwing style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing.

Ordering guide

Item	Quantity	Part Number	Notes	Item	Quantity	Part Number	Notes
1	1	GL18-4835	48" LED, 3500K	2	1	GL18-4835	48" LED, 3500K
3	3	GL18-4870	48" LED, 5000K	4	4	GL18-4870	48" LED, 5000K
5	5	GL18-4890	48" LED, 5000K	6	6	GL18-4890	48" LED, 5000K

1. Available 120-277V only.
 2. Available 120V/277V only.
 3. Not available with other control options.
 4. Not available in 480V.
 5. ELCC/ELC/ELF wireless system not configurable with PC/PC2/PC3/PC4.
 6. Luminaires door frame and optic assembly provided standard without glass lens. Specify CEM for clear glass lens.
 7. Works with 3 pin or 5 pin NEMA photocell/dimming device.
 8. If ordered with **MA, AM, AP, AR, AW, AW2**, dimming and/or be connected to NEMA receptacle.
 9. Works with 3 pin or 5 pin NEMA photocell/dimming device and auxiliary connectors are not connected (for 480vac only).
 10. Mount to a 2" 3/8" Tap. Specify a round pole with a 400' O.D. for no suspension.
 11. Not available in 120' mounting configurations.

Gullwing_GL18_LED 10/20 page 1 of 8



JONESBAKER
 1922 SAKARD ST
 DALLAS, TX 75215
 (214) 426-5600
 www.jonesbaker.com

GL18 Gullwing LED luminaire Large

GL18-RK LED Retrofit Kit

Note: Removal of all components of existing GL18 Gullwing Luminaires, except the upper housing, is required to perform a retrofit.
 GL18-RK includes all necessary retrofit components.

Note: TFC polyester powdercoat will fade somewhat in exterior environments over time. Once the retrofit kit is installed, there is a possibility that the upper housing may have faded to a point where there is a noticeable paint difference between the upper housing (existing) and the new retrofit kit door frame.

LED Wattage and Lumen Value - 3000K

Ordering Code	LED QTY	System Current (mA)	System Watts	Average System Color Temp	Type 2		Type 3			
					Lumen Output (lm)	BUG Rating	Lumen Output (lm)	BUG Rating		
GL18-R-300LA-4835-WW	48	350	80	3000K	6938	133	82-U0-G1	8006	122	83-U0-G2
GL18-R-300LA-4835-WW	48	530	80	3000K	9570	120	82-U0-G1	8862	110	82-U0-G2
GL18-R-300LA-4870-WW	48	700	100	3000K	12789	116	83-U0-G2	11971	106	82-U0-G2
GL18-R-300LA-4870-WW	48	1050	160	3000K	16471	103	83-U0-G2	15443	94	82-U0-G3
GL18-R-300LA-4890-WW	64	900	180	3000K	19022	106	83-U0-G2	17846	99	83-U0-G3
GL18-R-300LA-4890-WW	64	1050	208	3000K	21489	102	83-U0-G2	20056	96	83-U0-G3
GL18-R-300LA-4970-WW	96	700	200	3000K	23713	119	83-U0-G2	21754	109	83-U0-G3
GL18-R-300LA-4970-WW	96	800	230	3000K	26181	114	83-U0-G2	23996	104	83-U0-G4
GL18-R-300LA-4990-WW	96	900	265	3000K	28669	108	84-U0-G3	26246	99	83-U0-G4
GL18-R-300LA-4990-WW	96	1050	309	3000K	31366	101	84-U0-G3	28705	93	83-U0-G4

LED Wattage and Lumen Value - 4000K

Ordering Code	LED QTY	System Current (mA)	System Watts	Average System Color Temp	Type 2		Type 3			
					Lumen Output (lm)	BUG Rating	Lumen Output (lm)	BUG Rating		
GL18-R-400LA-4835-WW	48	350	80	4000K	7375	148	82-U0-G1	6784	136	81-U0-G2
GL18-R-400LA-4835-WW	48	530	80	4000K	10363	133	83-U0-G2	9762	123	83-U0-G2
GL18-R-400LA-4870-WW	48	700	100	4000K	13488	128	83-U0-G2	12452	118	83-U0-G2
GL18-R-400LA-4870-WW	48	1050	160	4000K	17821	124	83-U0-G2	16226	109	83-U0-G3
GL18-R-400LA-4890-WW	64	900	180	4000K	21321	124	83-U0-G2	19220	107	83-U0-G4
GL18-R-400LA-4890-WW	64	1050	208	4000K	23721	114	83-U0-G2	22240	107	83-U0-G4
GL18-R-400LA-4970-WW	96	700	200	4000K	26347	132	83-U0-G2	24715	121	83-U0-G4
GL18-R-400LA-4970-WW	96	800	230	4000K	29107	127	84-U0-G3	26651	116	83-U0-G4
GL18-R-400LA-4990-WW	96	900	265	4000K	31854	120	84-U0-G3	29662	110	83-U0-G4
GL18-R-400LA-4990-WW	96	1050	309	4000K	34801	113	84-U0-G3	31894	103	83-U0-G4

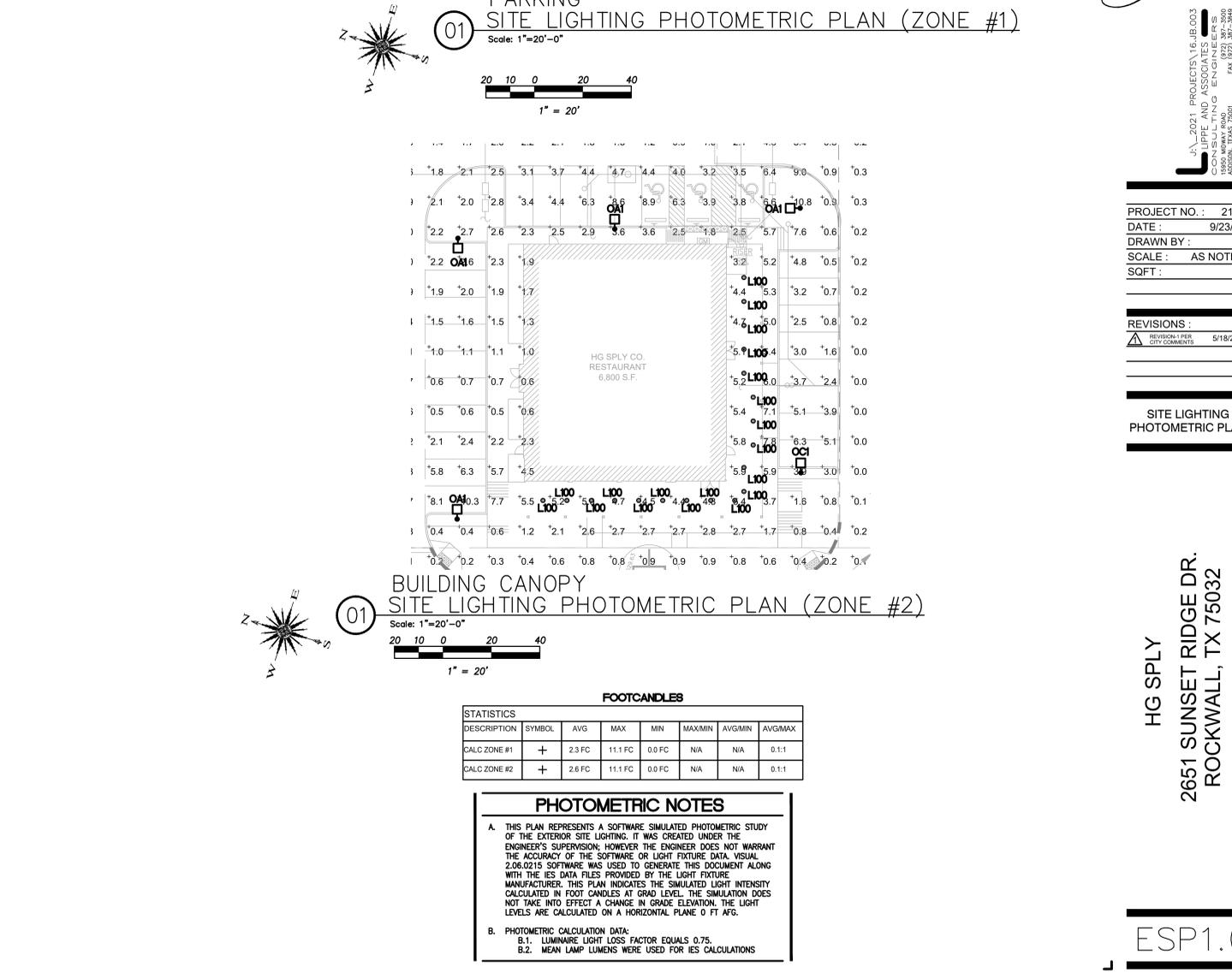
Gullwing_GL18_LED 06/20 page 3 of 8

SITE LIGHTING FIXTURE

DESIG	FIXTURE DESCRIPTION	VOLTAGE	WATTAGE	ACCEPTABLE MANUFACTURER	LIGHT FIXTURE MODEL NUMBER	POLE
OAI	PARKING LOT POLE LIGHTING FIXTURE	208V/1PH	180W-LED	GARDCO GULLWING	GL18-DM-1-3-160LA-481A-NW-208-BRP-IS-SQPTF	TOTAL FIXTURE HEIGHT (17'-6" POLE + 2'-6" BASE)
OBI	PARKING LOT POLE LIGHTING FIXTURE	208V/1PH	180W-LED	GARDCO GULLWING	GL18-DM-1-5-160LA-481A-NW-208-BRP-IS-SQPTF	TOTAL FIXTURE HEIGHT (17'-6" POLE + 2'-6" BASE)
OAI	PARKING LOT POLE LIGHTING FIXTURE	208V/1PH	180W-LED	GARDCO GULLWING	GL18-DM-1-3-160LA-481A-NW-208-BRP-IS-SQPTF (PROVIDE HS ON PRIVATE DRIVE)	TOTAL FIXTURE HEIGHT (17'-6" POLE + 2'-6" BASE)
L100	CANOPY RECESSED CAN LIGHT FIXTURE	120V/1PH	15W-LED	ELCO LIGHTING	EL510A HOUSING ELM5018 LAMP-CE PAR30 LED15 WARM WHITE	

SITE LIGHTING NOTES

1. CONTRACTOR SHALL COORDINATE WITH LANDLORD, MANUFACTURER'S SPECIFICATIONS AND CITY REQUIREMENTS PRIOR TO ORDERING AND INSTALLING POLES AND FIXTURES.



PROFESSIONAL ENGINEER
 STATE OF TEXAS
 LICENSE NO. 13317
 DATE: 06/18/23
 F-1738

PROJECT NO.: 2121
 DATE: 9/23/22
 DRAWN BY:
 SCALE: AS NOTED
 SQFT:

REVISIONS:

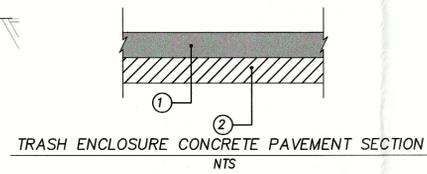
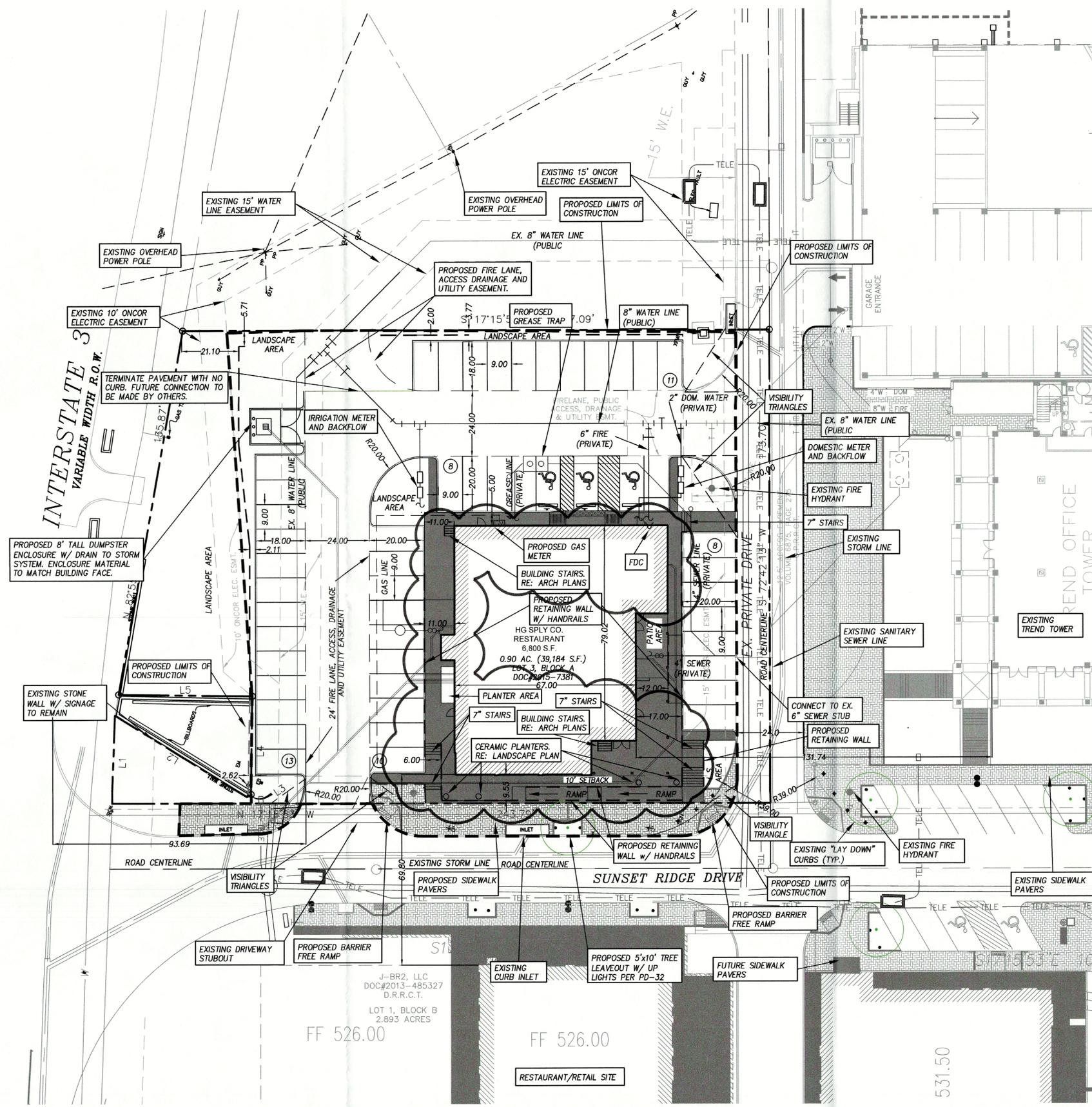
NO.	REVISION	DATE
1	REVISION 1 PER CITY COMMENTS	5/18/2023

SITE LIGHTING PHOTOMETRIC PLAN

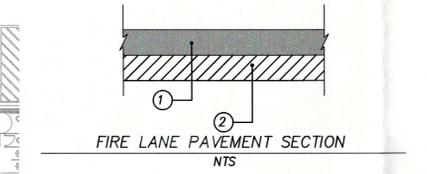
HG SPLY
 2651 SUNSET RIDGE DR.
 ROCKWALL, TX 75082

ESP1.0

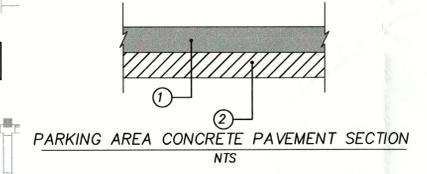
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 Layout: C1.04 SITE PLAN Xrefs: HG SUPPLY-BASE.dwg - XREF - BORDER.dwg



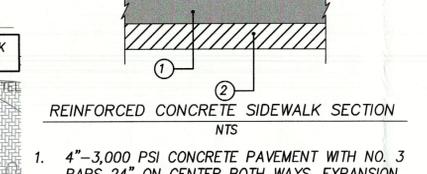
- 8"-4,000 PSI CONCRETE PAVEMENT WITH NO. 4 BARS 18" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 8" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 8" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 5% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



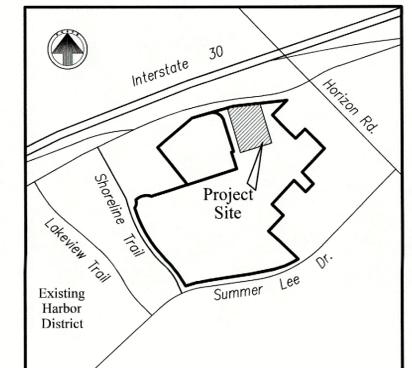
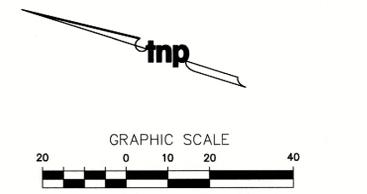
- 6"-4,000 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 8" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 8" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 5% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



- 5"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 8" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 8" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 5% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



- 4"-3,000 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. EXPANSION JOINTS TO BE PROVIDED EVERY 40'. 1" DEEP SAW JOINTS TO BE CUT INTO SIDEWALK EVERY 5' (5.5 SACK MIX MIN.)
- 8" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 8" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 5% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.



LOCATION MAP

NOTE:
 - DUMPSTER ENCLOSURE MATERIAL AND FINISH TO MATCH THAT OF THE RESTAURANT EXTERIOR.

SITE INFORMATION

LAND AREA:	0.90 ACRES (39,184 S.F.)
CURRENT ZONING:	PD-32 UNUSED
EXISTING USE:	RESTAURANT
PROPOSED USE:	6,800 S.F.
BUILDING AREA:	6,800/39,184=.174 -> 17.4%
BUILDING TO LOT COVERAGE:	38 FEET
BUILDING HEIGHT:	68 SPACES (SEE BREAKDOWN BELOW)
BUILDING REQUIRED PARKING:	68 TOTAL (*18 TREND TOWER GARAGE, 50 PARKING LOT)
BUILDING PARKING PROVIDED:	(INCLUDES 3 HANDICAP SPACES)
IMPERVIOUS AREA:	30,505 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	8,679 S.F.

PARKING REQUIREMENT BREAKDOWN:
 RESTAURANT SPACE AT 1 SPACE/100 S.F. --> 6,800/100 = 68 SPACES
 * TREND TOWER PARKING REQUIREMENT:
 OFFICE SPACE AT 1 SPACE/300 S.F. --> 107,129/300 = 357 SPACES
 TREND TOWER PARKING GARAGE CURRENTLY PROVIDES 441 PARKING SPACES SO PER THE SHARED PARKING AGREEMENT, A PORTION OF THIS PARKING MAY BE USED BY LOT 3 BLOCK A, THEREFORE 18 PARKING STALLS FROM THE TREND TOWER PARKING GARAGE WILL BE AVAILABLE FOR USE ON LOT 3 BLOCK A.

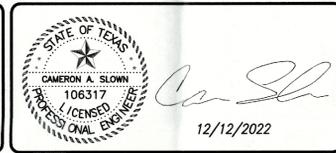
APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the 3 day of January, 2023.
 Witness our hands this 3 day of January, 2023.
 [Signature] Planning & Zoning Commission, Chairman
 [Signature] Director of Planning & Zoning

CASE NUMBER: SP2021-005
FOR CONSTRUCTION

no.	revision	by	date



teague nall and perkins, inc
 825 Watters Creek Blvd., Suite M300
 Allen, Texas 75013
 214.461.9867 ph 214.461.9864 fx
 www.tnppinc.com
 TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale
 when bar is
 1 inch long
 horiz
 1"=20'
 vert
 N/A
 December 2022

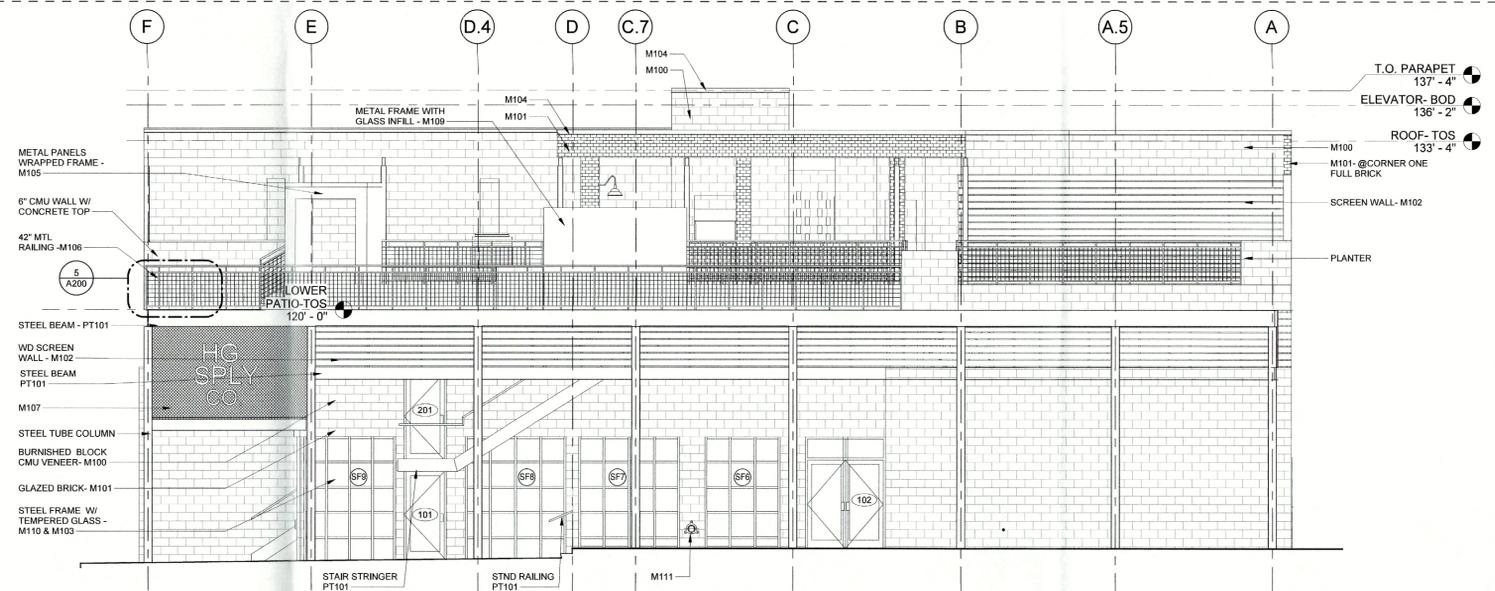
8020 HOSPITALITY, LLC.
 2008 GREENVILLE AVE.
 DALLAS, TX 75206

City of RockWall, Texas
 Improvements for
HG SPLY, CO. RESTAURANT
SITE PLAN

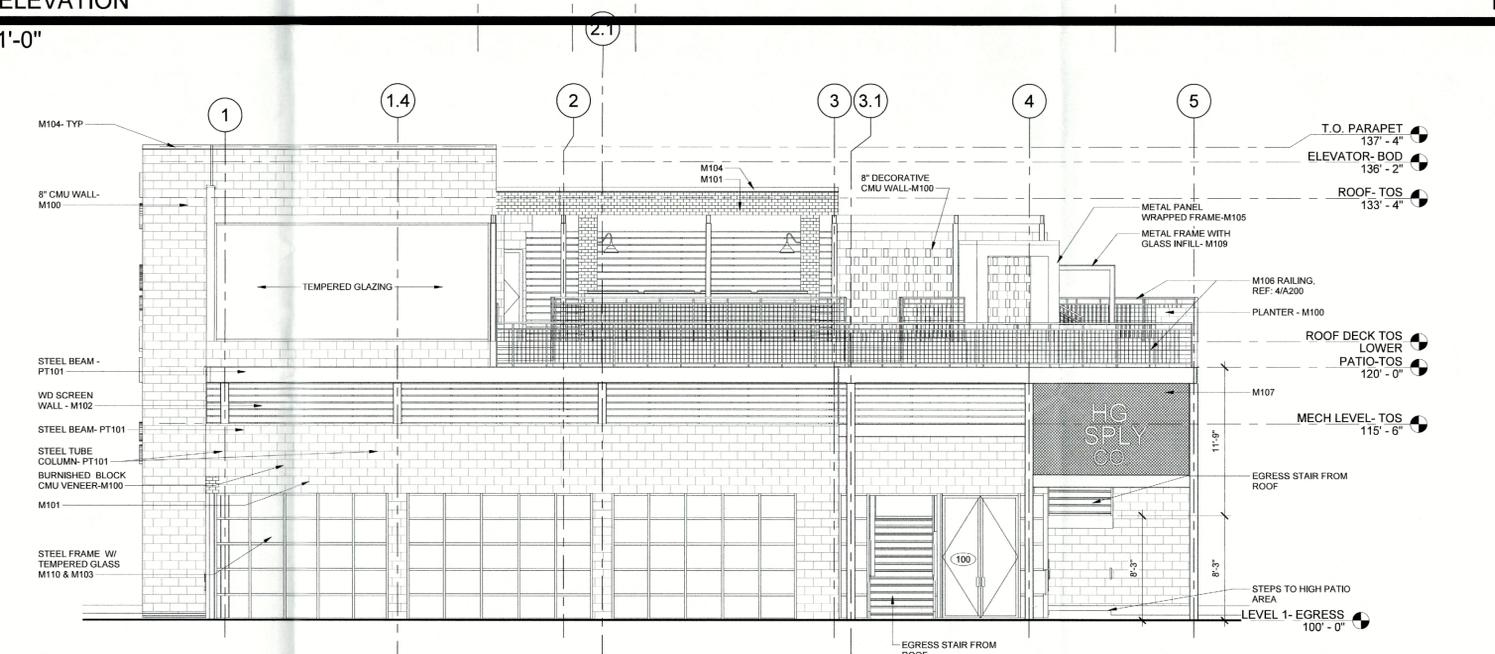
tnp project
 HSP21134
 sheet
C1.04

EXTERIOR FINISH SCHEDULE				
REF.	DESCRIPTION	PRODUCT INFORMATION	VENDOR	SUPPLIED/ INSTALLED BY
M100	GREY BURNISHED BLOCK	HEAD WATER CMU/ COLOR #725 SMOKE/POLISHED FINISH/ GROUT CRP #785	STEVE MORRIS 214-552-9527	GC / GC
M101	GLAZED BRICK-STANDARD SIZE	ELGINBUTLER GLAZED BRICK/S2, 3 5/8" X 2 1/4" X 8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M101	GLAZED BRICK-THIN BRICK/ ALTERNATE	ELGINBUTLER GLAZED THIN BRICK/ER, MODULAR 3/4" X 2 1/4" X 7 5/8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M102	WOOD SCREEN AND PERGOLAS	2x6 WOLMANIZED PINE, SEALED FOR EXTERIOR APPLICATION, FINISH: ST0XX	GC CHOICE	GC / GC
M103	CLEAR TEMPERED GLASS	1/2" CLEAR TEMPERED GLASS, PPG SOLARBAN 60 OR BETTER	PPG GLASS 888-774-4332	GC / GC
M104	PREFINISHED METAL COPING	1/2" CONTINUOUS CLEAT COPING, PREFINISHED GALVANIZED STEEL, GRIT FINISH NATURAL PAC-TITE W/ CANTED FASCIA, COLOR WEATHERED ZINC	PAC CLAD 800-441-8661	GC / GC
M105	METAL CLADDING	ALUCOBOND PE PANELS- PATRIOT RED: PVD#3	WWW.ALUCOBONDUSA.COM	GC / GC
M106	WIRE MESH RAILING	STERLING DULA'S WIRE MESH RAILING SYSTEM, 3/16" DIA WOVEN WIRE INFILL, 3" OC EW	KANE INOVATIONS 800-773-2439	GC / GC
M107	SCREEN MESH	CRL STANDARD PERFORATED STAINLESS STEEL PANEL SYSTEM	CRLAURENCE 800-421-6144	GC / GC
M108	METAL PNL-2	HOT ROLLED STEEL, NATURAL COLOR, POWDER COATED CLEAR FINISH	GC CHOICE	GC / GC
M109	MTL FRAME W/ RED GLASS	2" X 4" STEEL TUBE FRAME PTD #100, W/ 1/2" RUBY RED TEMPERED GLASS (TBS)	GC CHOICE	GC / GC
PT100	PAINT- RED	SW6871 POSITIVE RED- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT101	PAINT- BLACK	SW6259 TRICORN BLACK- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT102	PAINT- WHITE	SW7646 FIRST STAR- EXTERIOR	SHERWIN WILLIAMS	GC / GC

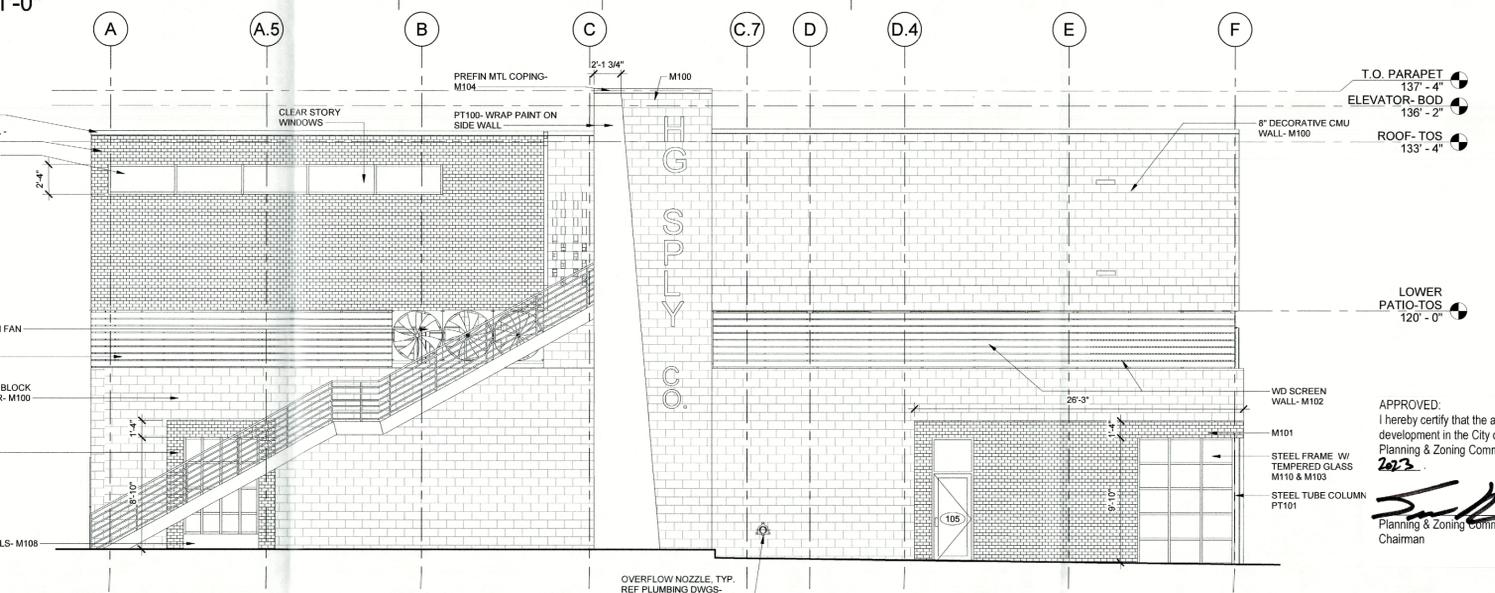
ALL SUBSTITUTIONS ARE TO BE APPROVED BY THE ARCHITECT AND THE OWNER
GC TO SUBMIT MATERIAL SAMPLES FOR ARCHITECT APPROVAL BEFORE ORDERING



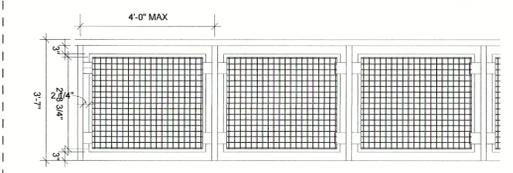
FRONT ELEVATION
3/16" = 1'-0"



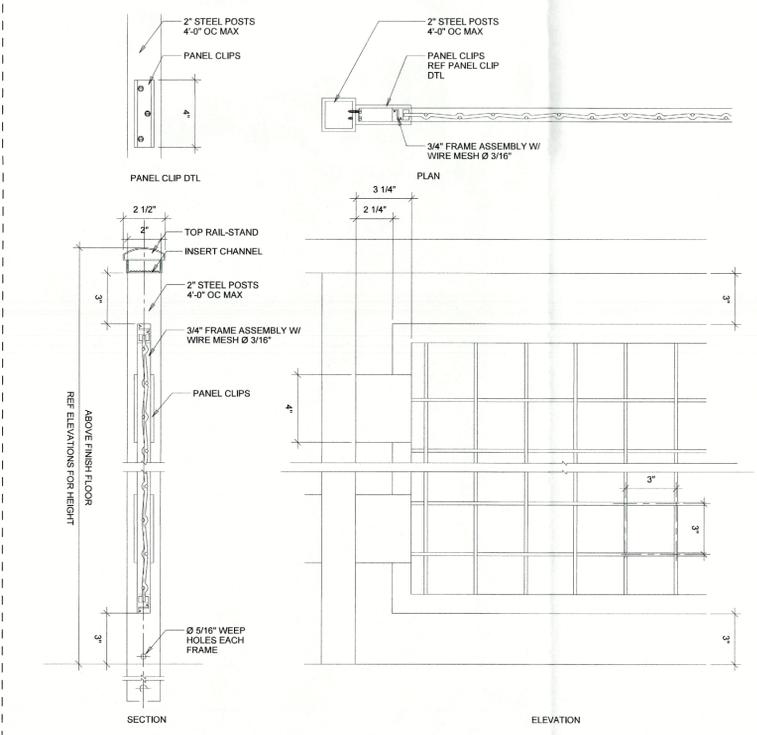
SIDE ELEVATION
3/16" = 1'-0"



STREET ELEVATION
3/16" = 1'-0"



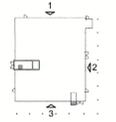
ROOF DECK RAILING
1/2" = 1'-0"



ROOF DECK RAILING DTLS
3" = 1'-0"



APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 3rd day of January, 2023.
[Signature]
Planning & Zoning Commission, Chairman



PROJECT NO.: 2121
DATE: 9/22/2022
DRAWN BY:
SCALE: AS NOTED
SQFT:

REVISIONS:

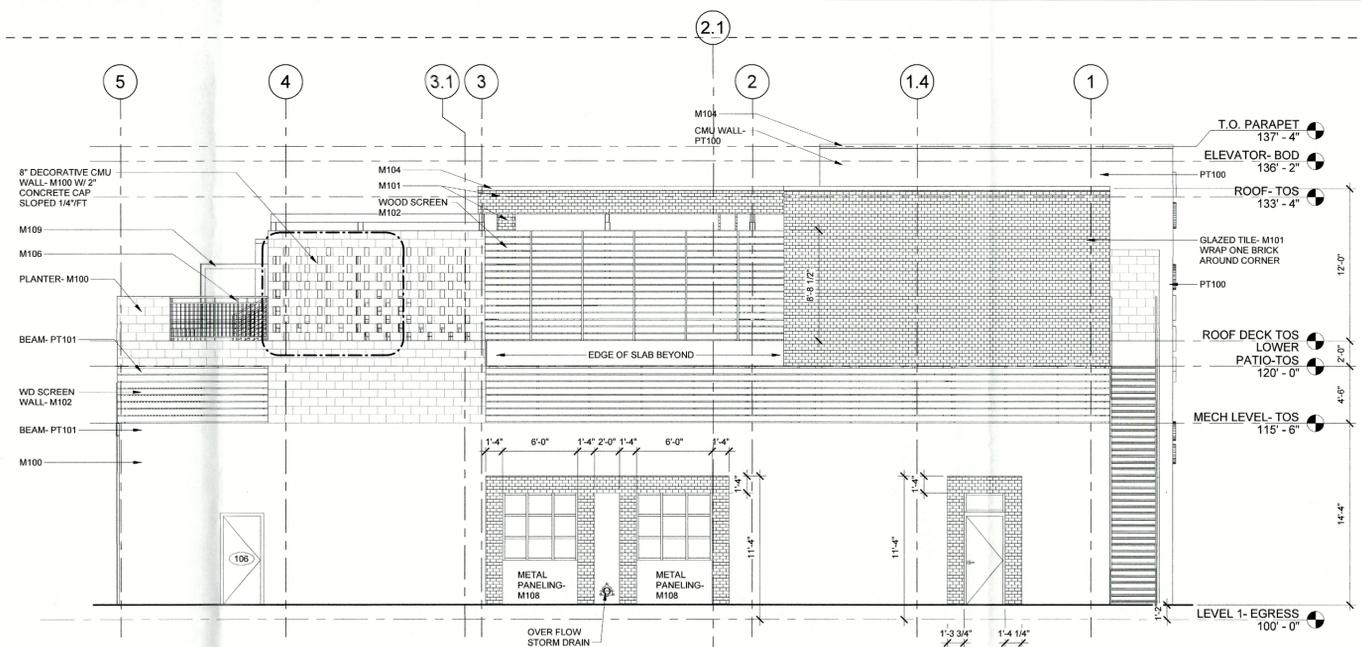
BUILDING ELEVATIONS

HG SPLY
SUNSET RIDGE DR.
CKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 23 day of January 2023.
[Signature]
Chairman
[Signature]
Director of Planning & Zoning

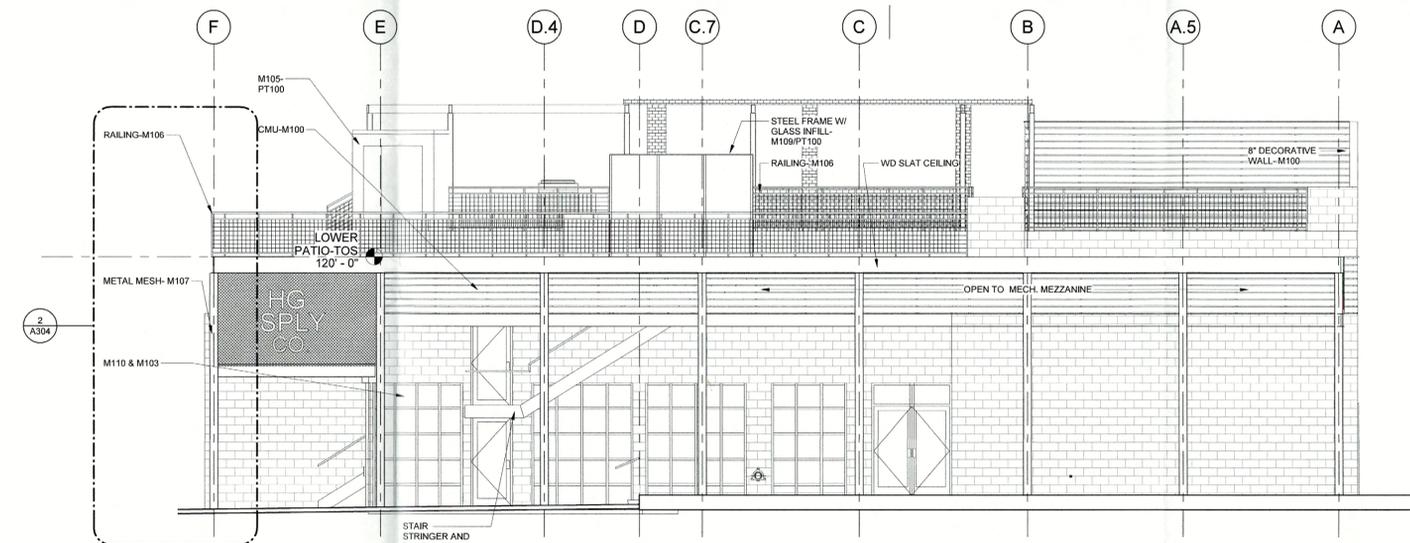
REF.	DESCRIPTION	PRODUCT INFORMATION	VENDOR	SUPPLIED/ INSTALLED BY
M100	GREY BURNISHED BLOCK	HEAD WATER CMU/ COLOR #725 SMOKE/POLISHED FINISH/ GROUT CBP #TBS	STEVE MORRIS 214-552-9527	GC / GC
M101	GLAZED BRICK-STANDARD SIZE	ELGINBUTLER GLAZED BRICK/S2, 3 5/8" X 2 1/4" X 8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M101	GLAZED BRICK-THIN BRICK/ ALTERNATE	ELGINBUTLER GLAZED THIN BRICK/EB, MODULAR 3/4" X2 1/4" X7 5/8", COLOR: POLAR WHITE #7100	CARL DUNLAP 214-536-7755	GC / GC
M102	WOOD SCREEN AND PERGOLAS	2X6 WOLMANIZED PINE, SEALED FOR EXTERIOR APPLICATION. FINISH: STXXX	GC CHOICE	GC / GC
M103	CLEAR TEMPERED GLASS	1/2" CLEAR TEMPERED GLASS, PPG SOLARBAN 60 OR BETTER	PPG GLASS 888-774-4332	GC / GC
M104	PREFINISHED METAL COPING	PAC CONTINUOUS CLEAT COPING, PREFINISHED GALVANIZED STEEL, GRIT FINISH NATURAL PAC-TITE W/ CANTED FASCIA, COLOR WEATHERED ZINC	PAC CLAD 800-441-8661	GC / GC
M105	METAL CLADDING	ALUMINUM PE PANELS- PATRIOT RED- PVDF3	WWW.ALUCCBONDUSA.COM	GC / GC
M106	WIRE MESH RAILING	STERLING DULA'S WIRE MESH RAILING SYSTEM, 3/16" DIA WOVEN WIRE INFILL, 3" OC EW	KANE INNOVATIONS 800-773-2439	GC / GC
M107	SCREEN MESH	CRL STANDARD PERFORATED STAINLESS STEEL PANEL SYSTEM	CRLAURENCE 800-421-6144	GC / GC
M108	METAL PNL-2	HOT ROLLED STEEL, NATURAL COLOR, POWDER COATED CLEAR FINISH	GC CHOICE	GC / GC
M109	MTL FRAME W/ RED GLASS	2" X4" STEEL TUBE FRAME PTD PT100. W/ 1/2" RUBY RED TEMPERED GLASS (TBS)	GC CHOICE	GC / GC
PT100	PAINT- RED	SW6871 POSITIVE RED- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT101	PAINT- BLACK	SW6258 TRICORN BLACK- EXTERIOR	SHERWIN WILLIAMS	GC / GC
PT102	PAINT- WHITE	SW7646 FIRST STAR- EXTERIOR	SHERWIN WILLIAMS	GC / GC

ALL SUBSTITUTIONS ARE TO BE APPROVED BY THE ARCHITECT AND THE OWNER
GC TO SUBMIT MATERIAL SAMPLES FOR ARCHITECT APPROVAL BEFORE ORDERING



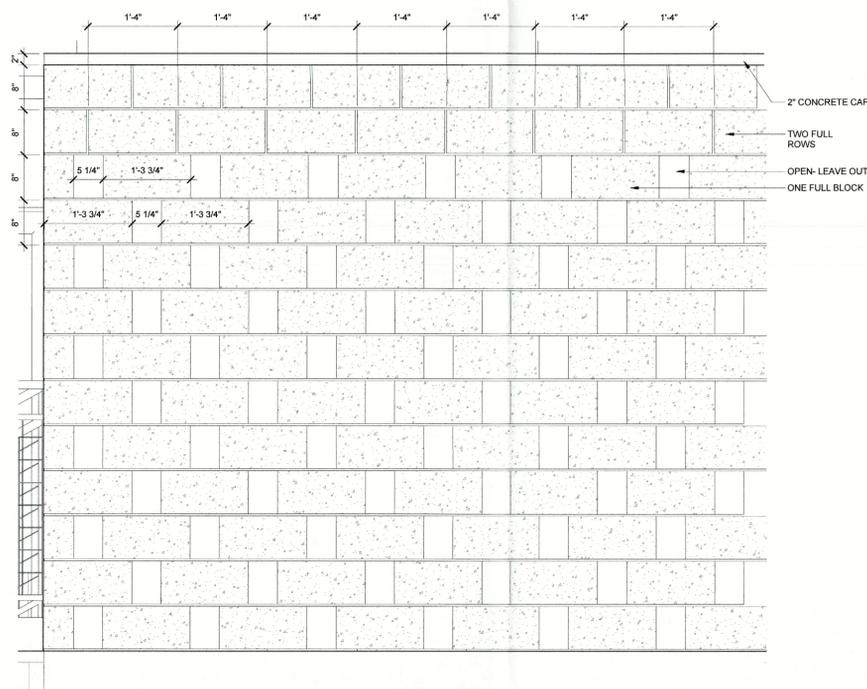
BACK ELEVATION

3/16" = 1'-0"



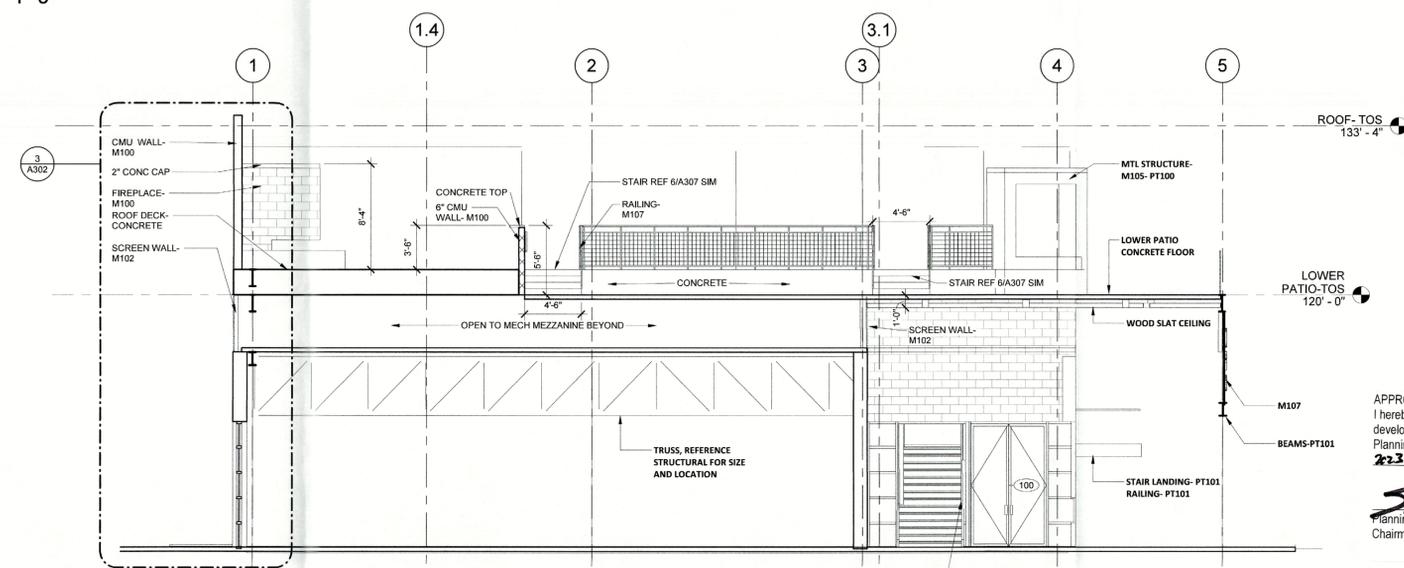
ELEVATION

3/16" = 1'-0"



DECORATIVE CMU WALL

1" = 1'-0"



BUILDING SECTION

3/16" = 1'-0"

10/14/2022 5:12:05 PM

THE HARBOR DISTRICT SELECTED PLANT LIST THIS IS MASTER HARBOR LIST, NOT ALL PLANTS ARE USED ON THIS SITE LANDSCAPE PLAN

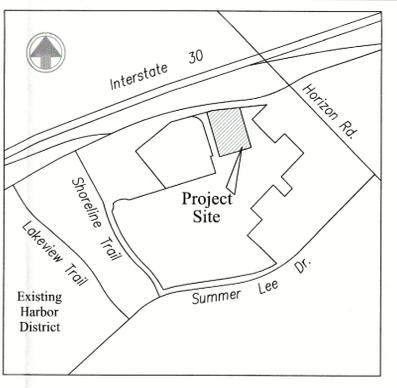
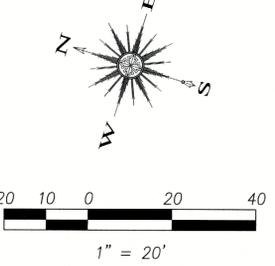
EVERGREEN TREES	COMMON NAME	BOTANICAL NAME	SIZE
TE-1	LIVE OAK "LA"	QUERCUS VIRGINIANA, CLAY SOIL GROWN	200 GAL, 8.0"-7.5" CAL. 24-26 FT HIGH, CLEAR TRUNK TO 8 FEET
TE-2	LIVE OAK "LB"	QUERCUS VIRGINIANA, CLAY SOIL GROWN	150 GAL, 6.0"-6.5" CAL. 18-18 FT HIGH, MULTITRUNK TO 8 FEET
TE-3	LIVE OAK "LC"	QUERCUS VIRGINIANA, CLAY SOIL GROWN	100 GAL, 4.0"-4.5" CAL. 14-15 FT HIGH, CLEAR TRUNK TO 8 FEET
TE-4	SKYROCKET JUNIPER, FULL UPRIGHT	JUNIPERUS "SKYROCKET"	36" BOX, 3.0"-3.5" CAL. 16-18 FT HIGH, FULL ROUNDED FORM MATCHED HEIGHT INSTALL WITH (3") DIA. 10' STEEL POSTS EA. TIE TO KEEP UPRIGHT, FROM WIND
DECIDUOUS TREES	COMMON NAME	BOTANICAL NAME	SIZE
TD-1	BALD CYPRESS	TAXODIUM DISTICHUM	100 GAL, 4.0"-4.5" CAL. 16-18 FT HIGH, CLEAR TRUNK TO 6 FEET
TD-2	CEDAR ELM "CA"	ULMAS CRASSIFOLIA	100 GAL, 4.0"-4.5" CAL. 12-14 FT HIGH, CLEAR TRUNK TO 8 FEET
TD-3	CEDAR ELM "CB"	ULMAS CRASSIFOLIA	200 GAL, 8.0"-8.5" CAL. 24-26 FT. HIGH, CLEAR TRUNK TO 8 FEET
ORNAMENTAL TREES	COMMON NAME	BOTANICAL NAME	SIZE
OT-1	DWARF MAGNOLIA LITTLE GEM	MAGNOLIA GRANDIFLORA, LITTLE GEM	65 GAL, 8-10 FT. FULL TO GROUND, MAIN LEADER FORM
OT-2	GREPE MYRTLE, RED	LAGERSTROMIA INDICA, TUSCORORA	45 GAL, 8-10 FT. THREE TO FIVE UPRIGHT TRUNKS, TWIN LAKES NURSERY
SHRUBS, HEDGES	COMMON NAME	BOTANICAL NAME	SIZE
SH-1	DWARF YALPORN HOLLY	ILEX VOMITORIA, NANA	3 GAL, 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING
SH-2	DWARF BURFORD HOLLY	ILEX CORNUTA BURFORDI	7 GAL, 36" O.C. MAX. 30" HIGH AT TIME OF PLANTING
SH-3	SALVIA LEUCANTHIA	SALVIA LEUCANTHIA	3 GAL, 24" O.C. MIN. PURPLE
SH-4	AUTUMN SAGE	SALVIA GREGGII	3 GAL, 48" O.C. MIN.
SH-5	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA, E.GOUCHER	3 GAL, 36" O.C. MAX. NO SUBSTITUTE
SH-6	NELLIE R. STEVENS	ILEX ATENUATA, "EMERALD"	30 GAL, 6-8 FT HIGH, FULL LOW TO GROUND,
GROUND COVERS	COMMON NAME	BOTANICAL NAME	SIZE
GC-1	CREeping LILLY TURF	LIRIOPE SPICATA	4" POTS, 12" O.C. MAX.
GC-2	ROSEMARY WOODY	ROSMARINUS OFFICINALIS	3 GAL, 18" O.C. MAX.
GC-3	PURPLE WINTER CREEPER	EUONYMUS FORTUNEI	4" POTS, 12" O.C. MAX. WITH JUTE MESH AND 3" MULCH
GC-4	MEXICAN FEATHER GRASS	STIPA TENUISSIMA	1 GAL., AS SHOWN, 18" O.C. MAX.
ROOF TOP PLANTS	COMMON NAME	BOTANICAL NAME	SIZE
RT-1	DRIFT ROSES, RED	ROSA, DRIFT ROSES	3 GALLON, FULL
RT-2	AGAVE OCTOPUS	AGAVE WILMOREANA "OCTOPUS"	5 GALLON
RT-3	DWARF KATIE PETUNIA, BLUE	RUPELLIA BRITTONIANA "KATIE" BLUE	1 GAL. KATIE, BLUE/PURPLE
PERENNIALS	COMMON NAME	BOTANICAL NAME	SIZE
PR-1	DAYLILIES, YELLOW EVERGREEN	HEMEROCALLIS, "STELLA DE ORO"	1 GAL., 14" O.C. MAX. RE BLOOMING TYPE
PR-2	LANTANA TRAILING, WHITE	LANTANA MONTEVIDENSIS, WHITE	1 GAL., 18" O.C. MAX.
PR-3	TEXAS RED YUCCA	HESPERALOEYERA	1 GAL., 18" O.C. MAX.
PR-4	VARIATED YUCCA	YUCCA GLORIOSA VARIATED	3 GAL., 18" O.C. MAX.
PR-5	FLAX LILLY	DIANELLA TASMANIC VARIATED	1 GAL., 18" O.C. MAX.
GRASS	COMMON NAME	BOTANICAL NAME	SIZE
BC-1	BERMUDA GRASS	BERMUDA SPECIES, COMMON	SOLID SOO, ROLL TWO TIMES WITH IN 24 HOURS, AS WETTING

PLANT MINIMUM CRITERIA STATEMENT

1. PLANTS ARE REQUIRED TO MEET MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION MAY 12, 2004, AND RECOMMENDED BY THE TEXAS NURSERY & LANDSCAPE ASSOCIATION.

SITE INFORMATION

LAND AREA:	0.90 ACRES (39,184 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	UNUSED
PROPOSED USE:	RESTAURANT
BUILDING AREA:	6,800 S.F.
BUILDING TO LOT COVERAGE:	38 FEET
BUILDING HEIGHT:	17.44
BUILDING REQUIRED PARKING:	68 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	68 TOTAL (*18 TREND TOWER GARAGE, 50 PARKING LOT) (INCLUDES 3 HANDICAP SPACES)
IMPERVIOUS AREA:	29,125 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	10,059 S.F.



LANDSCAPE PLANT LEGEND

PGC-1 QUANTITY SYMBOL KEY TO PLANT LIST

IRR SLEEVE IRRIGATION SLEEVE SUPPLY 4" WIRES 2" OR AS NOTED ON PLAN

"LA" "A" LIVE OAK TREES, 200 GALLON, 8" CALIPER, SPREADING SHAPE 20-22 FEET HIGH, MULTITRUNK, CLEAR 8 FEET

"LB" "B" LIVE OAK TREES, 150 GALLON, 4" CALIPER, SPREADING SHAPE 16-18 FEET HIGH, MULTITRUNK, CLEAR 6 FEET

"LC" "C" LIVE OAK TREES, 100 GALLON, 4" CALIPER, UP RIGHT SHAPE 14-16 FEET HIGH, SINGLE TRUNK, CLEAR 6 FEET

"CB" AUTUMN BLAZE MAPLE TREES, 150 GALLON, 4" CALIPER 16-18 FEET HIGH, SINGLE TRUNK, CLEAR 6 FEET

"BC" BALD CYPRESS TREES, 100 GALLON, 5" CALIPER 16-18 FEET HIGH, SINGLE TRUNK, CLEAR 6 FEET

"MC" MAGNOLIA TREES, 65 GALLON, 8-10 FT HIGH

"IC" ITALIAN CYPRESS TREES, 48" BOX, 3.0-3.5" CALIPER 16-18 FEET HIGH, SINGLE TRUNK, FULL TO GROUND

SCREENING SHRUB, 25 GAL. EVERGREEN SHRUB SPACE AS SHOWN

EVERGREEN SHRUBS, SEE PLANT LIST

FLOWERING SHRUBS, SEE PLANT LIST

PERENNIALS, SEE PLANT LIST

BERMUDA GRASS SOD, SEE NOTES FOR IRRIGATION AND ROLLING

36" WIDE DECOMPOSED GRANITE WALK 2" LAYER OVER FILTER FABRICS WITH STEEL EDGING ON BED SIDE ONLY OR AS NOTED.

CERAMIC PLANTERS (*CCP-3 24" WIDE 30" HIGH SQUARE TOP, SELECTED AT SOUTHWEST NURSERY BY LANDSCAPE ARCHITECT.

LANDSCAPE IRRIGATION WARRANT

- LANDSCAPE CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM TIME OF FINAL ACCEPTANCE AND PAYMENT OF THE COMPLETED WORK.
- IRRIGATION SYSTEM SHALL BE WARRANTED FOR ONE YEAR PARTS AND LABOR FOR NEW ITEMS.

IRRIGATION AFFIDAVIT

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATIVE (ET) WEATHER BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED LICENSED IRRIGATOR.

CITY OF ROCKWALL MAINTENANCE NOTE:

MAINTENANCE: THE CURRENT OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS. REQUIRED BUFFER YARD AREAS AND MATERIALS AND REQUIRED SODDING MATERIALS. SAID AREAS MUST BE MAINTAINED AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. MAINTENANCE WILL INCLUDE REPLACEMENT OF ALL DEAD PLANT MATERIAL THAT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THE UDC. ALL SUCH PLANTS SHALL BE REPLACED WITHIN (6) SIX MONTHS OF NOTIFICATION, OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST. A PROPERTY HOMEOWNERS ASSOCIATION MAY ASSUME RESPONSIBILITY FOR MAINTENANCE OF COMMON AREAS.

ROOT BARRIERS AT UTILITIES AND PAVING EDGES

- NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELEC. CABLE, STORM, ETC.
- ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET, PROVIDE ON ALL TREES SHOWN, UNLESS NOTED
- DEEP ROOT BARRIERS, 1-800-458-7868, INSTALL UB-48-2
- PER SPECIFICATIONS AT EACH TREE ON SIDE OF PAVING OR UTILITY, INCLUDE 4" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 24" DEEP, BARRIER TO EXTEND 1" ABOVE GRADE.

SOIL AMENDMENT NOTES (LISTED FOR BASE BID)

SOIL PREPARATION FOR GRASS AREAS ON SITE

- SPRAY ROUND UP TWO TIMES IN HEAT OVER 70 DEGREES OR MANUALLY REMOVE THE EXISTING BERMUDA GRASS, TWO WEEKS PRIOR TO SITE WORK AND IRRIGATION SYSTEM INSTALLATION FOR THE TOTAL SITE AREA. CONTINUE TO REVIEW AND REMOVE ALL BERMUDA GRASS AND WEEDS FROM THE SITE DURING CONSTRUCTION.
- FINE GRADE SOIL AFTER SITE CLEAN UP PER THE APPROVED GRADING AND DRAINAGE PLANS FOR THE SITE. SW-2 CONTRACTOR HAS THE PLAN ON FILE, OR CALL FOR A PDF FILE.
- REMOVE ALL DEBRIS FROM SITE, ROCKS AND TILES OVER 1" DIA. ALL EXTRA CONCRETE, FORM BOARDS.
- HAND RAKE SOIL SMOOTH AND SHAPE BEDS AND EDGES OF BACK OF CURB PER LANDSCAPE ARCHITECT'S DIRECTIONS. CALL TO SET UP MEETING PRIOR TO ACCEPTANCE OF THE FINAL GRADE.
- AFTER IRRIGATION SYSTEM INSTALLATION, WATER SETTLE ALL TRENCHES AND RAKE SMOOTH FOR FINISHED GRADES FOR THE SITE.
- INSTALL SOO SOO GRASS, ALLOWING FOR TIGHT JOINTS BETWEEN ALL SECTIONS OF SOO, DO NOT LEAVE GAPS OR ADD AZALEA MIX IN ALL GAPS OVER 0.5" TO FILL IN AFTER SODDING IF GAPS REMAIN.
- WATER AND ROLL THE SOO TWO TIMES.
- IN BASE BID ALLOW FOR ONE (1) TIME MOWING AND EDGING PRIOR TO FINAL ACCEPTANCE.

SOIL PREPARATION FOR 4" POTS AND 1 GALLON GROUND COVER BEDS

- SOIL AMENDMENTS: EXCAVATE BEDS OR ALLOW FOR 4" SOIL PREPARED BY LIVING EARTH TECHNOLOGY OR EQUAL.
- TILL IN TO DEPTH OF 8" AND MIX WITH NATIVE SOIL.
- INSTALL BEDDING PLANTS SETTING THE TOP OF BALLS, MINIMUM 0.5" ABOVE SOIL GRADE.
- MULCH 2" WITH FINE PINE BARK MULCH OR HARDWOOD MULCH.
- IN BASE BID ALLOW FOR FINE PRUNING AS REQUIRED BY GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE.

SOIL PREPARATION FOR 3 GALLON AND 5 GALLON SHRUB BEDS

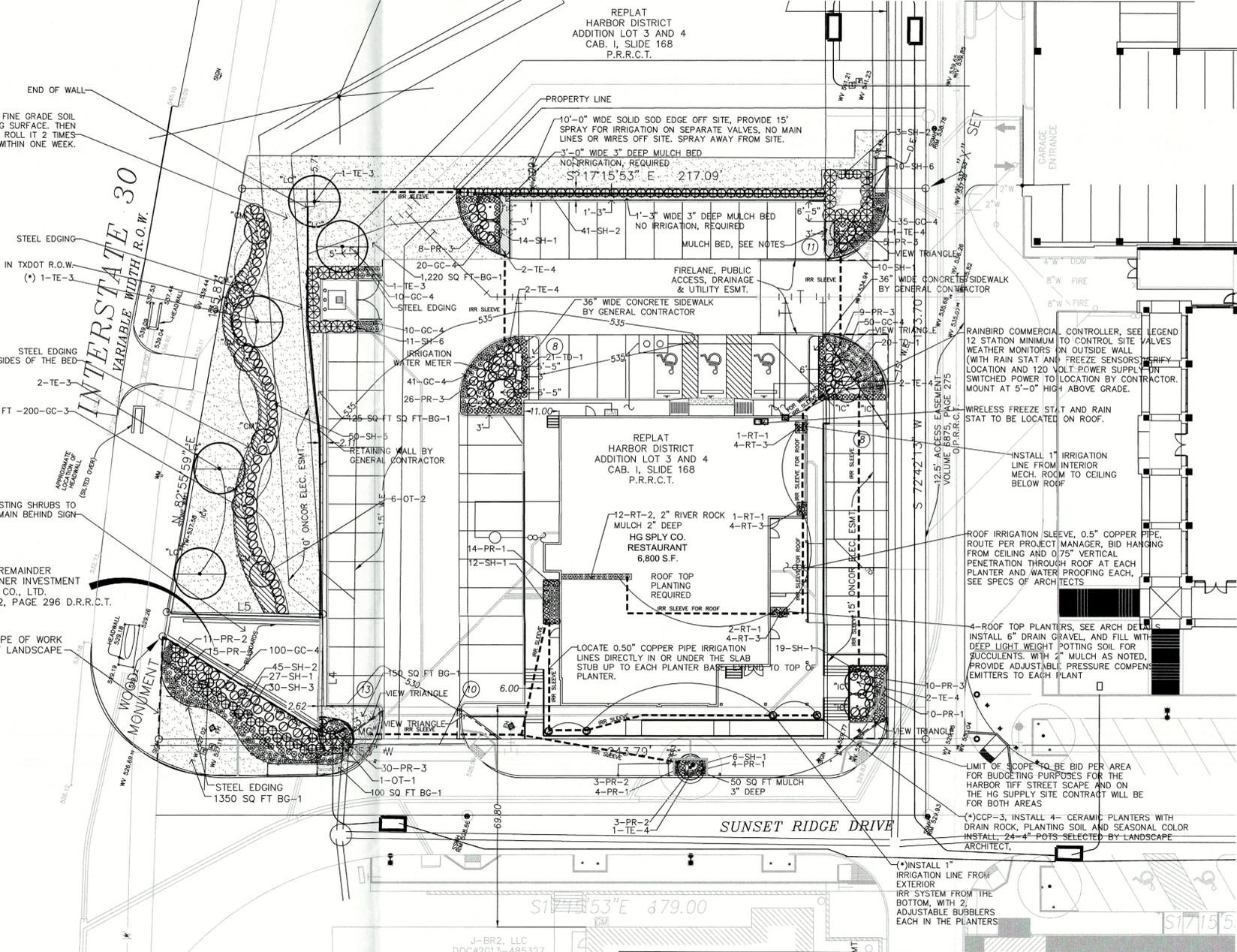
- SOIL AMENDMENTS: EXCAVATE BEDS OR ALLOW FOR 6" SOIL PREPARED BY LIVING EARTH TECHNOLOGY OR EQUAL.
- TILL IN TO DEPTH OF 12" AND MIX WITH NATIVE SOIL.
- INSTALL SHRUBS PLANTS SETTING THE TOP OF BALLS, MINIMUM 1.5" ABOVE SOIL GRADE.
- MULCH 2" WITH FINE PINE BARK MULCH OR HARDWOOD MULCH.
- IN BASE BID ALLOW FOR FINE PRUNING AS REQUIRED BY GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE.

SOIL PREPARATION FOR 25 GALLON AND 65 GALLON SHRUB BEDS

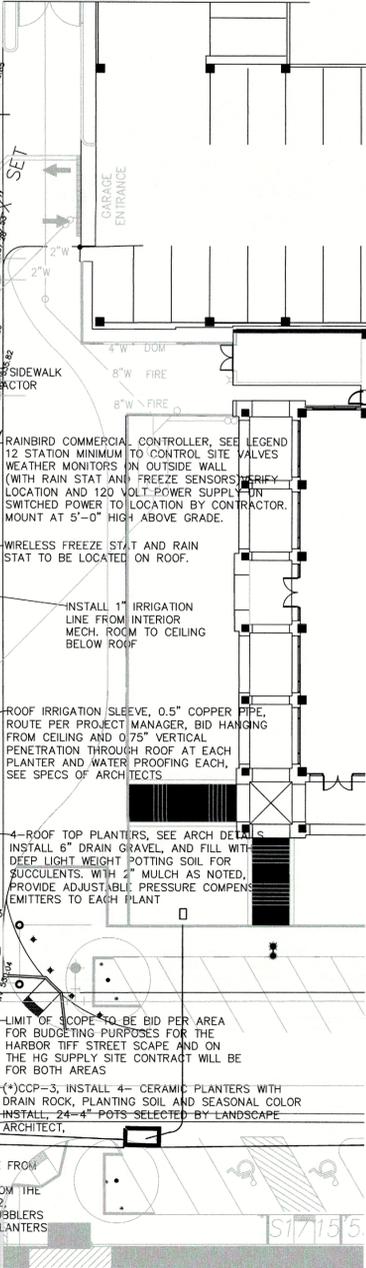
- SOIL AMENDMENTS: EXCAVATE BEDS OR ALLOW FOR 8" SOIL PREPARED BY LIVING EARTH TECHNOLOGY OR EQUAL.
- TILL IN TO DEPTH OF 16" AND MIX WITH NATIVE SOIL.
- INSTALL SHRUBS PLANTS SETTING THE TOP OF BALLS, MINIMUM 2.5" ABOVE SOIL GRADE.
- MULCH 3" WITH FINE PINE BARK MULCH OR HARDWOOD MULCH.
- IN BASE BID ALLOW FOR FINE PRUNING AS REQUIRED BY GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE.

SOIL PREPARATION FOR 100 GALLON AND LARGER TREES

- SEE TREE PLANTING ON LA-2.



LOCATION MAP



- (*) COMPENSATORY MEASURES PROVIDED ITEMS ADDED TO THE SITE PLAN TO INCLUDE
- PROVIDING 4 CERAMIC PLANTER UNDER THE AWNING ON SUNSET RIDGE SIDE OF THE BUILDING
 - PROVIDE (1) ONE ADDITIONAL LARGE CANOPY TREE ALONG IH 30 FRONTAGE.

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the 3 day of January, 2023.

Witness our hands this 3 day of January, 2023

Sue
Planning & Zoning Commission, Chairman

Bill
Director of Planning & Zoning

CASE NUMBER: SP2021-005 FOR CONSTRUCTION

Revision	Date	Description

Owner: 8020 Restaurants, LLC.

2008 Greenville Ave. • Dallas, TX 75206

HG SPLY CO. RESTAURANT
2651 Sunset Ridge Dr.
Rockwall, Texas 75032

T.H.Pritchett / Associates
LANDSCAPE ARCHITECTS
1218 CAMINO LAGO
IRVING, TEXAS 75039
214-697-2580
tom@landesignplan.com

Drawn By: T.H.P. Checked By: T.H.P.
Date: 12/21/2022 Project No: -
Sheet Title: Landscape Planting Plan
Scale: 1/1 L1-01



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMORANDUM
PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Senior Planner*
DATE: February 25, 2025
SUBJECT: SP2025-007; *Amended Site Plan for 1407 S. Goliad Street*

The applicant, Abed Ajak of Ajak Realty LLC, is requesting the approval of an *Amended Site Plan* for the purpose of updating the existing building elevations. The subject property is a 0.48-acre tract of land (*i.e. Tract 34 of the J. T. Lewis Survey, Abstract 255*), zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, and addressed as 1407 & 1409 S. Goliad Street. According to the Rockwall Central Appraisal District (RCAD) the 4,539 SF building was constructed in 1970. The current building elevations were approved by City Council on September 6, 2011 [*Case No. MIS2011-008*]. In January 2025, the Building Inspections Department engaged the applicant as they began remodeling the exterior of the building without a building permit. Staff informed the applicant that any exterior changes to the building would require the approval of an Amended Site Plan given the subject property is within the SH-205 Overlay (SH-205 OV) District. This prompted the applicant to submit an Amended Site Plan request on February 14, 2025, and in accordance with the Article 11, *Development Applications and Review Procedures*, of the UDC, the applicant was required to pay a \$1,000.00 non-compliant structure fee in addition to the Amended Site Plan application fee.

In addition to the development application, the applicant submitted building elevations and building renderings. Based on the proposed building elevations, the applicant is increasing the height of the parapet, extending the parapet, and adding stacked stone to the front façade. According to Subsection 04.01(A), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), parapet systems must be "...enclosed on all sides..." and "...shall be finished on the interior side using the same materials as the exterior facing wall..." In this case, the proposed parapet extends across the front façade (*i.e. west façade*) and half-way down the side façades (*i.e. the north and south façades*). The applicant has indicated to staff that the increased height and expansion of the parapet is to "... maintain a consistent aesthetic ..." and allow for greater screening of the roof top units (*i.e. RTUs*). In addition, the applicant indicated that they are requesting to paint the back of the parapet due to cost and the lack of visibility of this portion of the building. In summary the applicant is requesting approval of an Amended Site Plan with variances to the [1] parapet system and [2] parapet materials. According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is proposing to plant five (5) gallon evergreen shrubs in front of the parking spaces that face onto S. Goliad Street. Staff should also point out that while the proposed improvements are not necessarily in conformance with the *General Overlay District Standards*, they do bring a legally non-conforming building closer to complying with the design criteria of the UDC, and this in itself can be considered a compensatory measure. Requests for exceptions and variances to the *General Commercial District Standards* and *General Overlay District Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the February 25, 2025 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: SP2025-007
PROJECT NAME: Amended Site Plan for 1407 S. Goliad
SITE ADDRESS/LOCATIONS: 1407 S GOLIAD ST

CASE CAPTION: Discuss and consider a request by Abed Ajak of Abed Ajak/Ajak Realty, LLC for the approval of an Amended Site Plan for an existing General Retail Building on a 0.48-acre tract of land identified as Tract 34 of the J. T. Lewis Survey, Abstract 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1407 & 1409 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/20/2025	Approved w/ Comments

02/20/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 The applicant is requesting approval of an Amended Site Plan for an existing General Retail Building on a 0.48-acre tract of land identified as Tract 34 of the J. T. Lewis Survey, Abstract 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, and addressed as 1407 & 1409 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 Please clarify if there will be any new exterior lighting. If so, please provide a photometric plan that meets the requirements of the Unified Development Code (UDC). (Article 07, UDC)

M.4 Please provide material samples for any new materials being added to the building. (Subsection 03.04. A, of Article 11, UDC)

M.5 Currently the subject property is unplatted. Given this, the subject property will be required to be Final Plat before the issuance of a CO on the property. (Chapter 38 of the Municipal Code of Ordinance)

M.6 For reference, include the case number (SP2025-007) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.7 Please include the Owner Information (i.e. Name, Address, and Phone Number) in the lower right-hand corner of the page. (Subsection 03.04. A, of Article 11, UDC)

M.8 Please include the site plan City Signature block as shown within the Development Packet. (Subsection 03.04. A, of Article 11, UDC)

M.9 Please update the plan date in the lower right-hand corner. (Subsection 03.04. A, of Article 11, UDC)

M.10 Please clarify if the proposed stone will be natural/quarried stone or cultured. Cultured stone will require a Variance approval by the Planning and Zoning Commission. In addition, EIFS is not a permitted material; three (3) part stucco must be utilized (Subsection 06.02. C, of Article 05, UDC)

M.11 Please indicate the surface area (square feet) of each façade and the percentage of each material used on each façade. (Subsection 04.01, of Article 05, UDC)

M.12 The Unified Development Code (UDC) requires all parapet to be an enclosed system and be finished on the back side with the same material as the external facing façade. In this case, you are requesting a non-enclosed parapet system that will be painted on the back. These will require Variances from the Planning and Zoning Commission. (Subsection 04.01, of Article 05, UDC)

M.13 Please delineate/crosshatch all existing and proposed RTUs on the building elevations. (Subsection 01.05. C, of Article 05, UDC)

M.14 Please consider providing five (5) gallon evergreen shrubs in front of the parking spaces that face onto S. Goliad Street. This would bring the property closer into conformance with the Unified Development Code (UDC) and screen headlights from the roadway. (Article 08, UDC)

M.15 Please provide a variance letter that outlines your requested variances and why you are requesting them. (Subsection 03.04. A, of Article 11, UDC)

I.16 Please note the scheduled meeting for this case:

1) Planning & Zoning Work Session meeting will be held on February 25, 2025.

I.17 A representative must be present for the meetings as scheduled above to answer any questions the Commission may have regarding your request. All meetings will be held in person, in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved w/ Comments

02/18/2025: Please provide landscape plans



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1407 + 1409 S. Goliad

SUBDIVISION Lofland Industrial Park

LOT 2A BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING N/A

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ABED ASAK/AJAK Realty APPLICANT ABED ASAK/AJAK REALTY LLC.

CONTACT PERSON ABED ASAK "AS" CONTACT PERSON ABED ASAK "AS"

ADDRESS 4002 Broadway Blvd ADDRESS 4002 Broadway Blvd.

CITY, STATE & ZIP Garland TX 75126 CITY, STATE & ZIP Garland TX 75126

PHONE 469-396-5298 PHONE 469-396-5298

E-MAIL abedajak@gmail.com E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

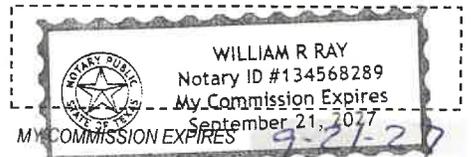
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kristi Roberts [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

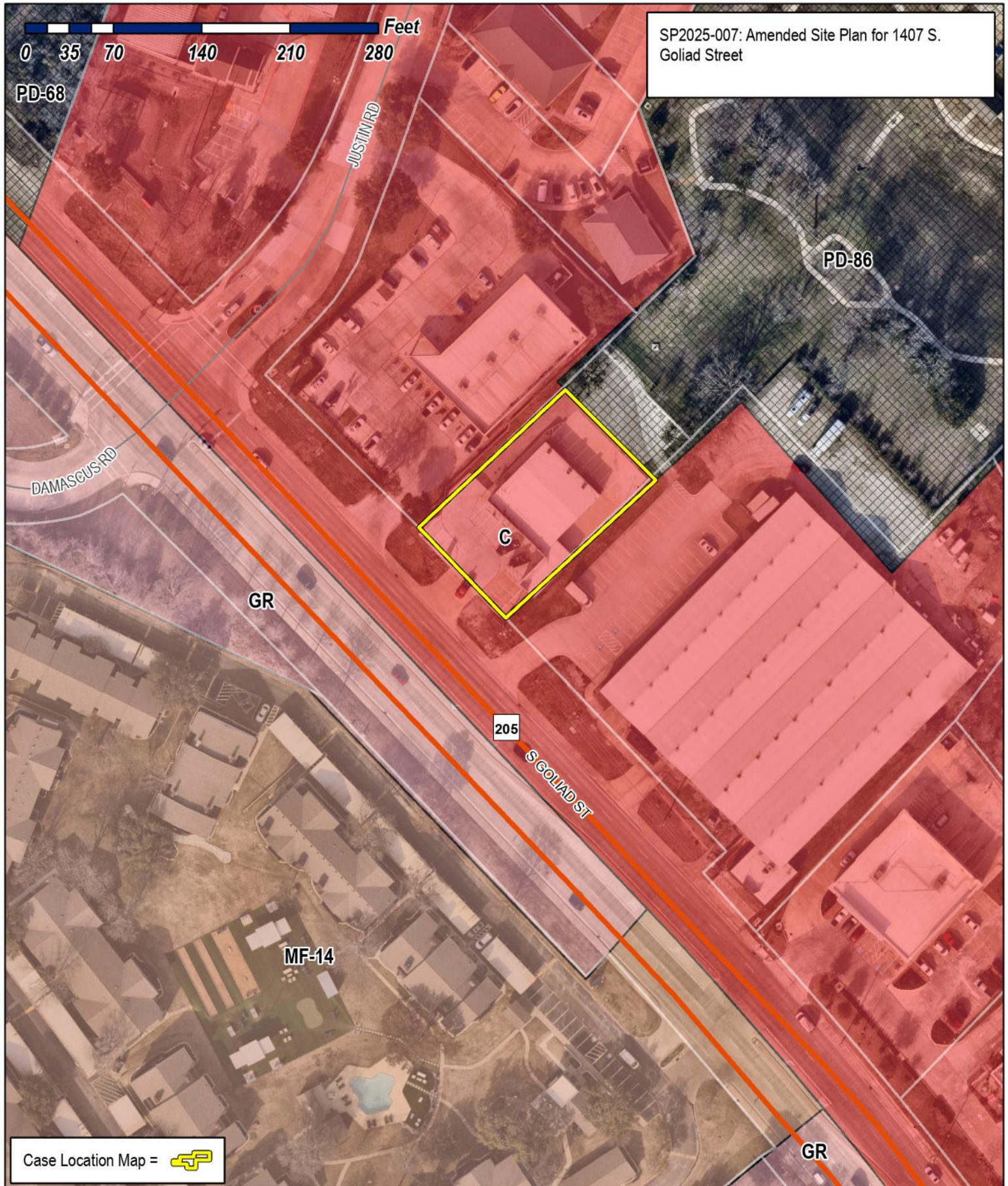
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF February, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF February, 2025

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





SP2025-007: Amended Site Plan for 1407 S. Goliad Street

0 35 70 140 210 280 Feet

PD-68

PD-86

C

GR

205

S GOLIAD ST

MF-14

GR

Case Location Map = 

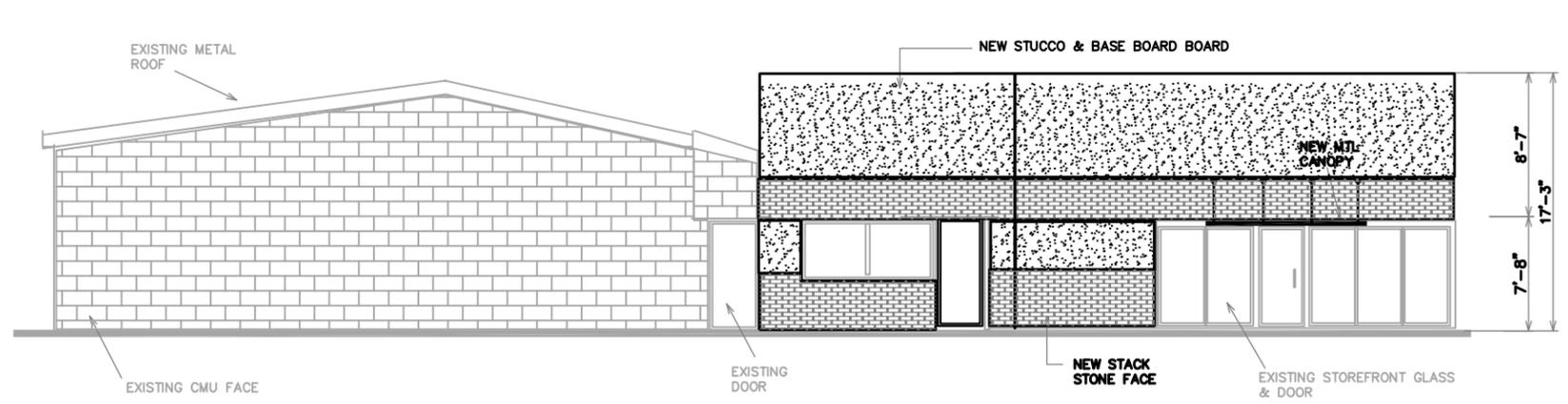


City of Rockwall

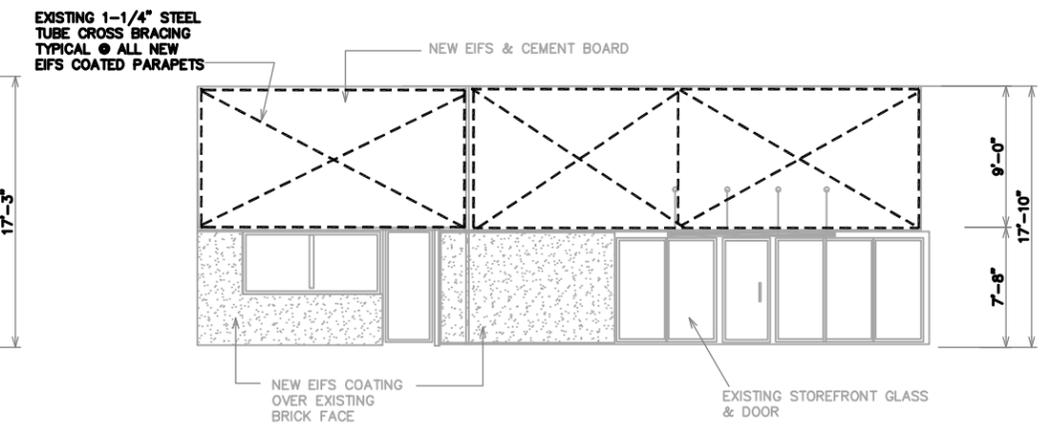
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

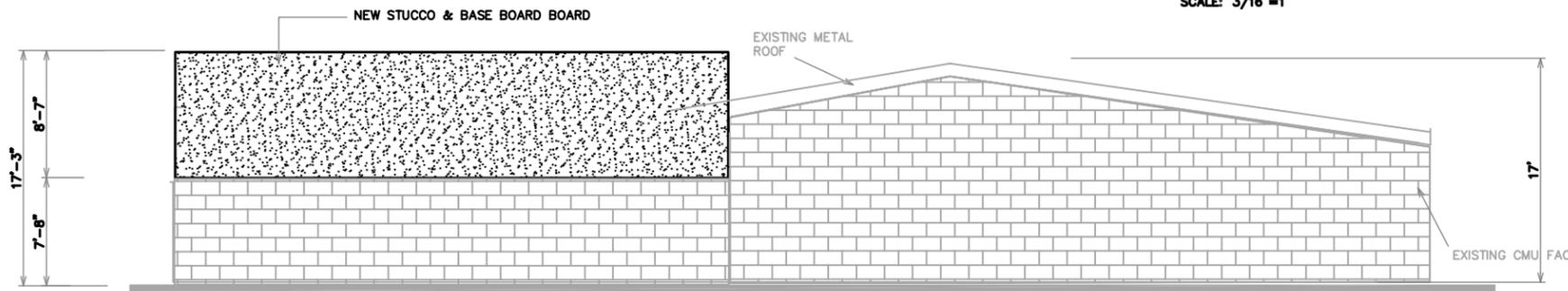




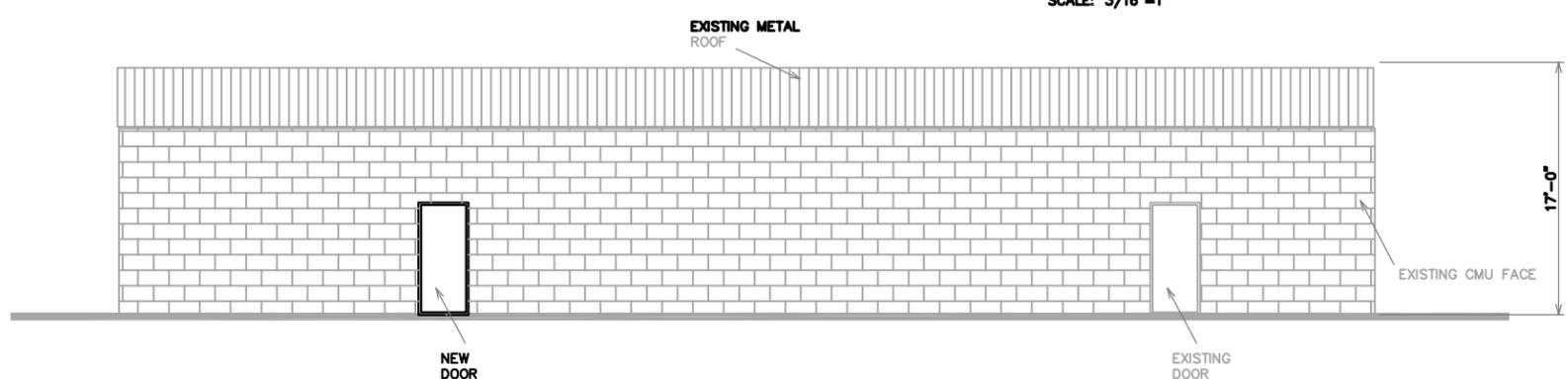
NORTH ELEVATION PROPOSED
SCALE: 3/16"=1'



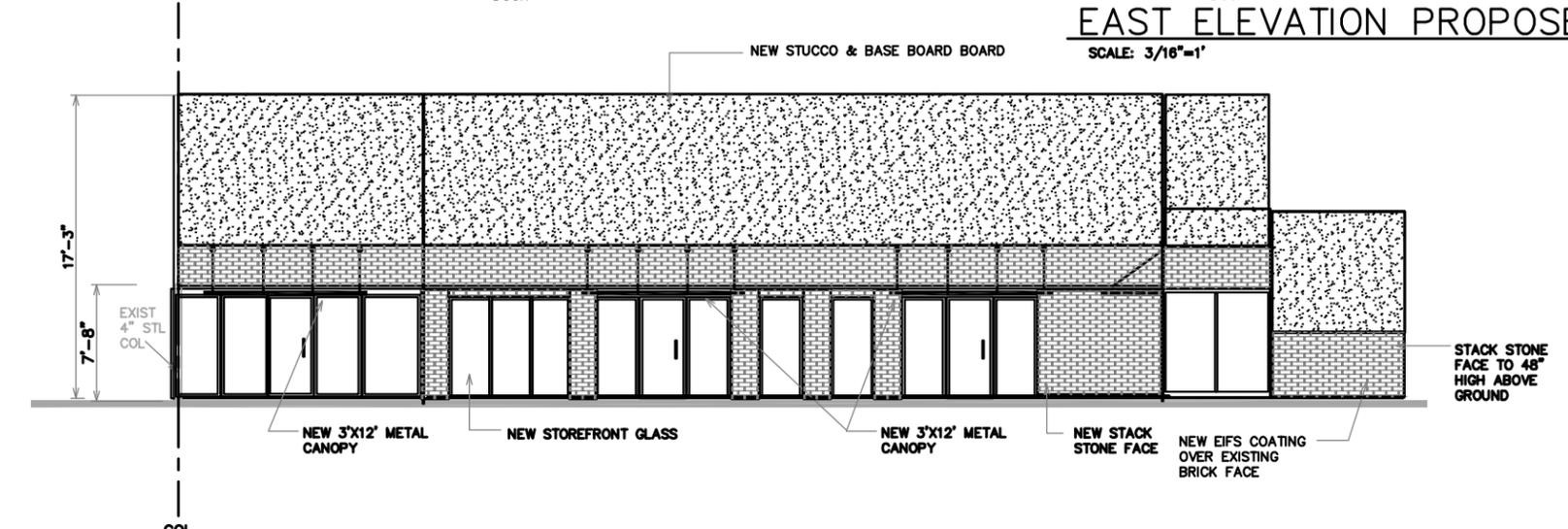
TYPICAL PARAPET BRACING DIAGRAM
SCALE: 3/16"=1'



SOUTH ELEVATION PROPOSED
SCALE: 3/16"=1'



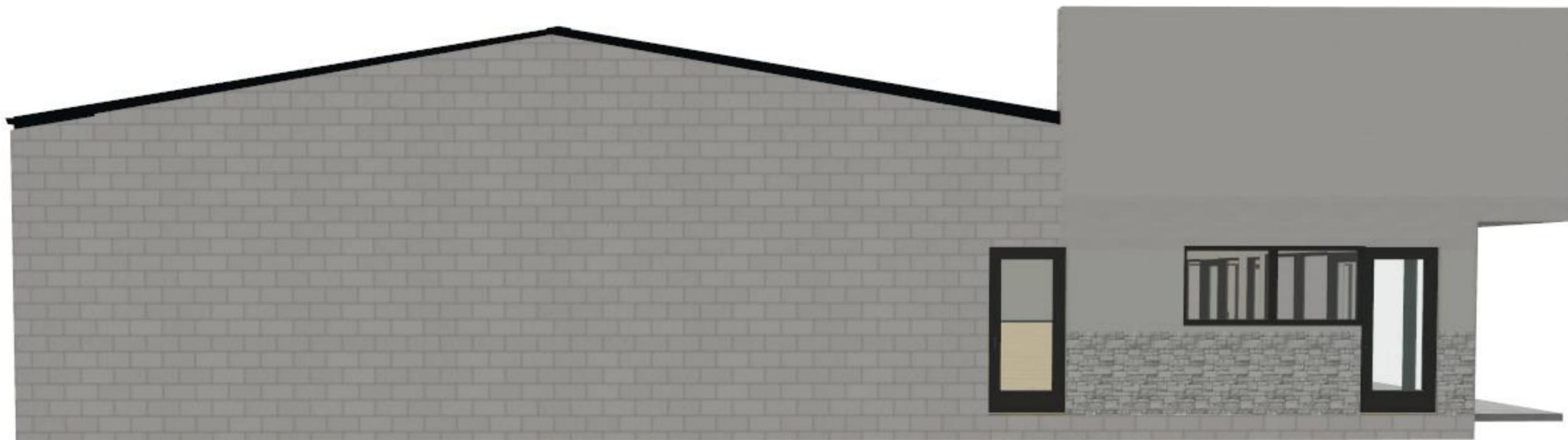
EAST ELEVATION PROPOSED
SCALE: 3/16"=1'



WEST ELEVATION PROPOSED
SCALE: 3/16"=1'

ELEVATIONS PROPOSED SCALE: 3/16"=1'	
RENOVATION 1407 S GOLIAD ST ROCKWALL, TX 75087	
CONTRACTORS PERMITTING SERVICES 362 W FORK #3115 IRVING, TX 75039 PHONE: 214-874-1524	SHEET A-4 DATE: 10-17-24







PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/21/2025

PROJECT NUMBER: SP2025-008
PROJECT NAME: Amended Site Plan for 401 W Rusk Street
SITE ADDRESS/LOCATIONS: 401 W RUSK ST

CASE CAPTION: Discuss and consider a request by Nicholas Grinnan on behalf of Jeff Grinnan for the approval of an Amended Site Plan for an existing Office Building on a 0.9040-acre tract of land identified as Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 401 W. Rusk Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/21/2025	Approved w/ Comments

02/21/2025: SP2025-008: Amended Site Plan for 401 W. Rusk Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing Office Building on a 0.9040-acre tract of land identified as Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, and addressed as 401 W. Rusk Street.

I.2 For questions or comments concerning this case, please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-008) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Building Elevations:

1) Please clarify if there will be any Roof Top Units on the roof of the building. If so, these shall be screened from view of all right-of-way. (Subsection 01.05(C), Article 05, UDC)

2) Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior

facing wall. (Subsection 04.01.A.1, Article 05, UDC). Provide elevations showing that the backside of the parapet is painted to match the exterior of the building. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architecture Review Board (ARB).

- 3) "Roof colors shall be a shade of cool gray, warm gray, brown or red." (Subsection 04.07.D.2(d)2, Article 05, UDC) Paint the backside of the parapet one of these colors.
- 4) "The dominant color of all buildings (including above grade parking structures shall be muted shades of warm gray, red, green, beige and/or brown. Black, gold and stark white shall not be used except as an accent color. There are no restrictions on accent colors which comprise less than one (1) percent of the building face, except that florescent colors are prohibited." (Subsection 04.07.D.2(d)1, Article 05, UDC). This will require a Minor Waiver to the Downtown (DT) District standards which will need to be approved by the Planning and Zoning Commission pending a recommendation from the Architecture Review Board (ARB).
- 5) "Ground floor exterior walls, excluding windows, doors, and other openings, shall be constructed of 100% brick, natural or cast stone on the exterior facade." (Subsection 04.07.D.2(c)1, Article 05, UDC). This will require a Minor Waiver to the Downtown (DT) District standards which will need to be approved by the Planning and Zoning Commission pending a recommendation from the Architecture Review Board (ARB).
- 6) Overall, a minimum of 85% of exterior walls which face on a street right-of-way, plaza or open space, excluding windows, doors, and other openings, shall be constructed of brick, natural or cast stone. Where such a wall turns a corner, the surface materials shall continue around the corner a minimum of eight feet. (Subsection 04.07.D.2(c)2, Article 05, UDC). This will require a Minor Waiver to the Downtown (DT) District standards which will need to be approved by the Planning and Zoning Commission pending a recommendation from the Architecture Review Board (ARB).
- 7) "Bicycle Parking. (a) Goals. Bicycle parking is required in order to encourage the use of bicycles by providing safe and convenient places to park bicycles. (b) Required bicycle parking. Bicycle parking shall be provided based on at least one (1) space for each ten automobile parking spaces required as part of the base parking requirements above." (Subsection 04.07.E.2(a&b), Article 05, UDC) Please add the required bike parking to your site plan layout.

M.6 Photometric Plan:

- 1) The allowable maximum light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 of one (1) foot-candle or 0.2 FC. (Subsection 03.02.C, of Article 07, UDC)
- 2) No light standard, light fixture, light pole, pole base or combination thereof shall exceed 20-feet in total height in any overlay district. (Subsection 06.02.G, Article 05, UDC). Revise the pole height to 20 feet or less.

I.7 Staff has identified the following exceptions and Downtown District minor waivers associated with the proposed request: [1] Roof Design Standards, [2] Exterior Building Materials [3] Exterior building color.

M.8 Please provide a variance letter that details the requested exception. In addition, "(i)n cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception." Please detail the proposed compensatory measures (i.e. 6 required) within the exception letter. (Section 09, Article 11, UDC) Staff suggests the following compensatory measures which are already apart of this case submittal: [1] add landscaping around the exterior of the building.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning meeting will be held on February 25, 2025.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). A representative is required to be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/21/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/20/2025	Approved w/ Comments

02/20/2025: Will the dumpster enclosure area be updated as well? New Enclosure?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/19/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/18/2025	Approved w/ Comments

02/18/2025: Please submit a landscape plan that shows all plants and trees including container sizes.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **401 W. Rusk, Rockwall, TX 75087**

SUBDIVISION _____

LOT

18778

BLOCK

8

GENERAL LOCATION **LOWE & ALLEN, BLOCK 8, ACRES .904**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **DT**

CURRENT USE **Office**

PROPOSED ZONING **DT**

PROPOSED USE **Office**

ACREAGE **0.9040**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON **Jeff Grinnan**

CONTACT PERSON **Nicholas Grinnan**

ADDRESS **102 S. Goliad**

ADDRESS **102 S. Goliad**

CITY, STATE & ZIP **Rockwall, TX 75087**

CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE **214-202-5333**

PHONE **214-500-1668**

E-MAIL **jgrinnan@ridgepcrc.com**

E-MAIL **ngrinnan@ridgepcrc.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Grinnan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF FEBRUARY, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

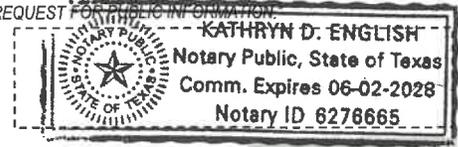
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF February, 2025

OWNER'S SIGNATURE

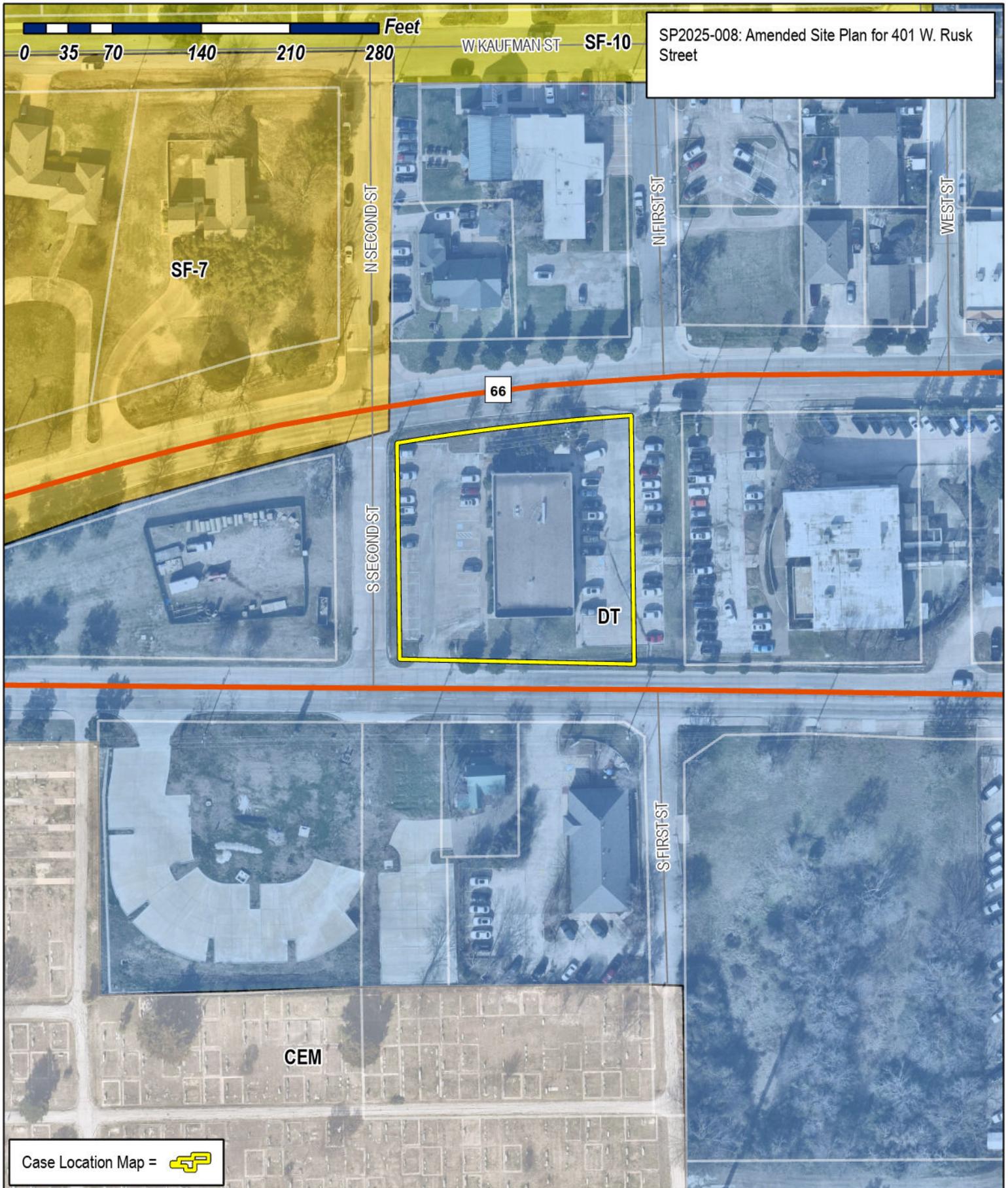
R Grinnan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Kathryn D English



MY COMMISSION EXPIRES _____



SP2025-008: Amended Site Plan for 401 W. Rusk Street

Case Location Map =

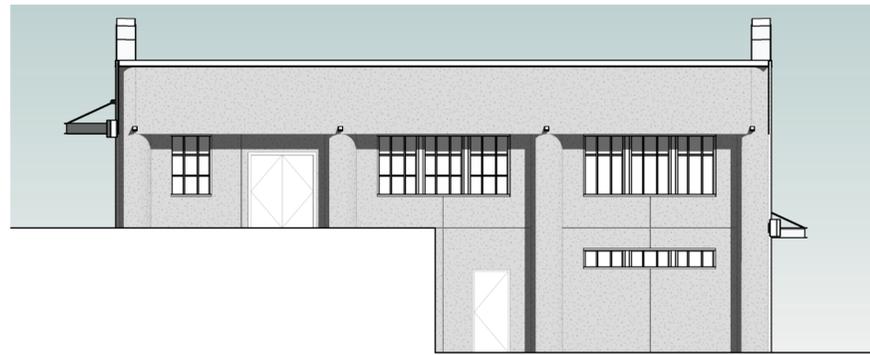


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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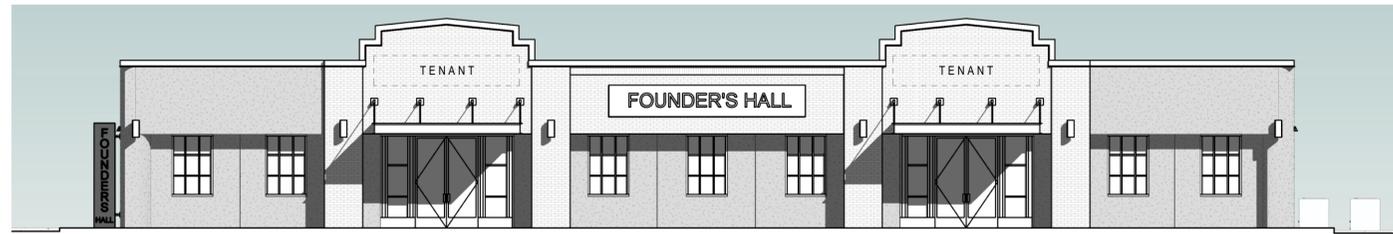


T.O. PARAPET
+/-28' - 0"
ROOF
+/-25' - 0"

LEVEL TWO
+/-12' - 0"

LEVEL ONE
+/-0' - 0"

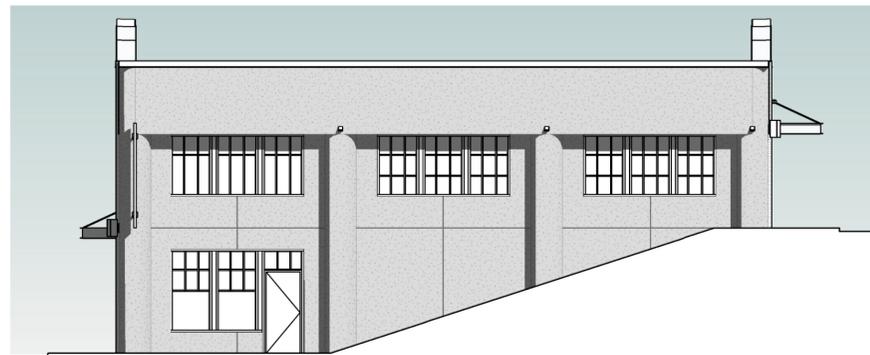
04 PR - BUILDING ELEVATION - NORTH
1/8" = 1'-0"



T.O. PARAPET
+/-28' - 0"
ROOF
+/-25' - 0"

LEVEL TWO
+/-12' - 0"

02 PR - BUILDING ELEVATION - EAST
1/8" = 1'-0"



T.O. PARAPET
+/-28' - 0"
ROOF
+/-25' - 0"

LEVEL TWO
+/-12' - 0"

LEVEL ONE
+/-0' - 0"

03 PR - BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



T.O. PARAPET
+/-28' - 0"
ROOF
+/-25' - 0"

LEVEL TWO
+/-12' - 0"

LEVEL ONE
+/-0' - 0"

01 PR - BUILDING ELEVATION - WEST
1/8" = 1'-0"

BUILDING ELEVATIONS
CONCEPTUAL DESIGN



WEST ELEVATION

CONCEPTUAL RENDERING

PAR | SH
L | NE



FROM W. WASHINGTON ST.

CONCEPTUAL RENDERING

PAR | SH
L | NE

FOUNDER'S HALL
401 W. RUSK ST, ROCKWALL, TX

FEBRUARY 20, 2025

PAR | SH
L | NE



BIRD'S EYE

CONCEPTUAL RENDERING

FOUNDER'S HALL
401 W. RUSK ST, ROCKWALL, TX

FEBRUARY 20, 2025

PARISH
LINE

PARISH
LINE



PAR | SH
L | NE

EAST ELEVATION

CONCEPTUAL RENDERING

FOUNDER'S HALL
401 W. RUSK ST, ROCKWALL, TX

FEBRUARY 20, 2025

PAR | SH
L | NE



FROM W. RUSK ST.

CONCEPTUAL RENDERING

PAR | SH
L | NE

FOUNDER'S HALL
401 W. RUSK ST, ROCKWALL, TX

FEBRUARY 20, 2025

PAR | SH
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Luminaire Schedule Symbol	Qty	Label	Arrangement	Manufacturer	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
□	6	D1	Single	Performance iN Lighting	QWMAX-B-40-C/I-40K-UNV	0.900	4080	40	240
□	6	D2	Single	Performance iN Lighting	QWMAX-B-18-C/I-40K-UNV	0.900	1836	15	90
□	7	F	Single	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR4B-W	0.900	4205	37.7	263.9
□	1	S1	Single	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PA2A-740-U-T3	0.900	15749	112	112
□	1	S2	Single	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-PA2B-740-U-5WQ	0.900	20332	151	151

Calculation Summary Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
1st Floor Calc	Illuminance	Fc	1.23	7.6	0.0	N.A.	N.A.
2nd Floor Calc	Illuminance	Fc	1.28	21.6	0.0	N.A.	N.A.
Ramp Calc	Illuminance	Fc	3.05	9.1	0.2	15.25	45.50

NOTES:
 1. Fixtures Type D2 mounted at 9.5' above 2nd level finished floor.
 2. Fixtures Type S1 mounted at 20' above 2nd level finished floor.
 3. Calc grid at finished floor level.

GENERAL NOTES

-THIS CALCULATION IS BASED ON AN OPEN AREA. OBJECTS AND OBSTRUCTIONS WITHIN THIS AREA WILL AFFECT FINAL LIGHTING LEVELS.

-THE CALCULATED FOOTCANDLE LEVELS INDICATE LUMINAIRE PERFORMANCE BASED ON THE INFORMATION PROVIDED TO TEXAS LIGHTING SOLUTIONS, INC. WE MAKE NO CLAIMS OF COMPLIANCE WITH ANY LOCAL OR STATE LIGHTING CODES.

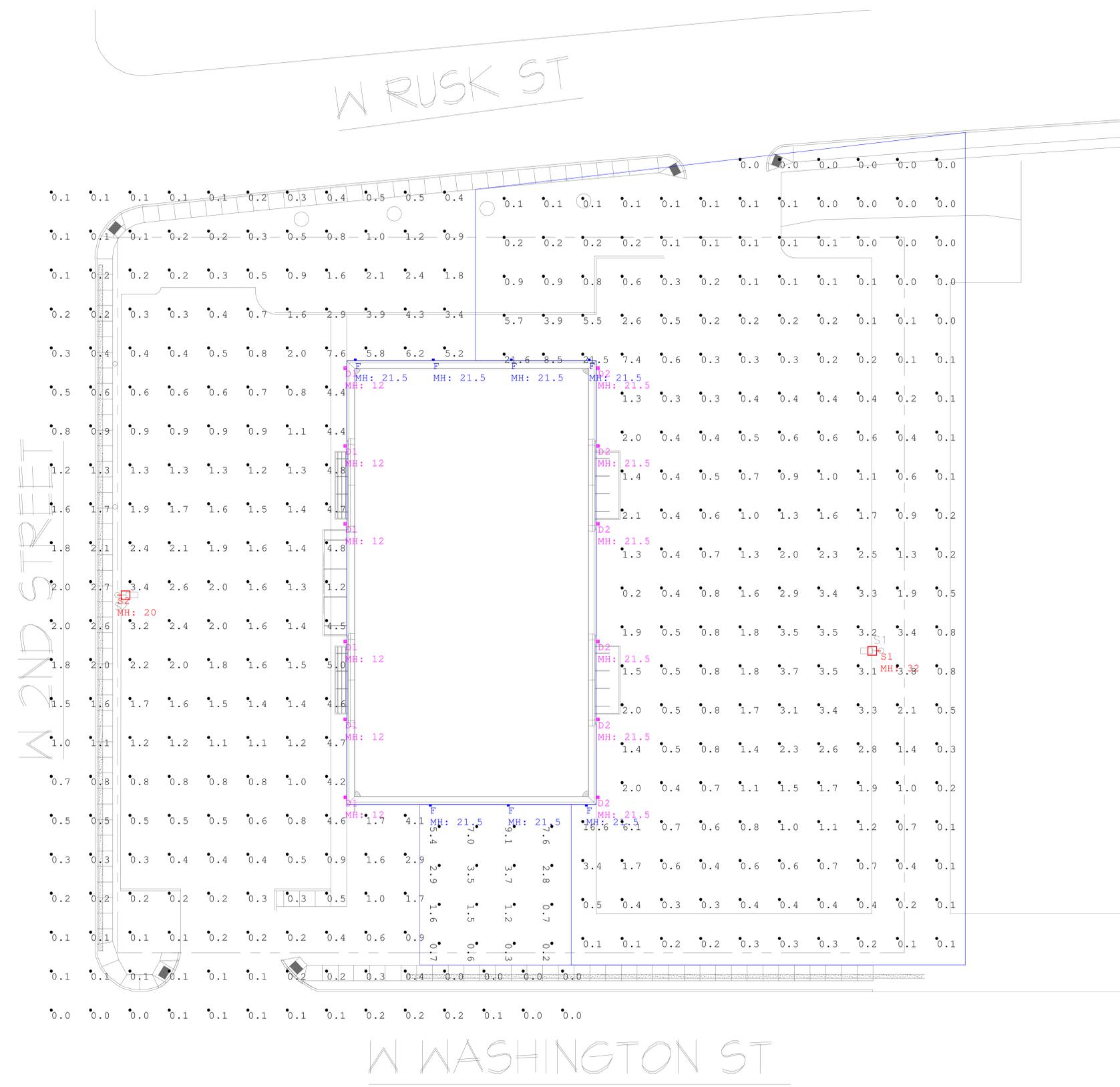
-CALCULATIONS ARE PROVIDED USING INDUSTRY RECOGNIZED SOFTWARE AND ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US. ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED. IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY OUR INPUT DATA IS CONSISTENT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA. HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOLTAGE, AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DUE TO THE ABOVE CONSIDERATIONS, TEXAS LIGHTING SOLUTIONS CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.



TEXAS LIGHTING SOLUTIONS

14760 TRINITY BLVD., SUITE 150
 FORT WORTH, TEXAS 76155
 TEL: 817-267-9300

TLS CONSULTANT: JORGE LOPEZ
 CLIENT: V3 ENGINEERING



PHOTOMETRIC PLAN
 SCALE: 1" = 12'-0"

NO.	REVISION	DATE
1	REV 1	1/21/25

SCALE: 1" = 12'-0"
 SHEET SIZE 30" X 42"

JOB NAME: **FOUNDERS HALL SITE**

JOB LOCATION: **ROCKWALL, TX**